

**Draft Options Appraisal
for
Nocton Hall, Lincolnshire.**



Client NKDC: October 2011

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1.0 INTRODUCTION

This report has been prepared for North Kesteven District Council (NKDC) to consider options for the derelict and fire damaged Grade II listed building, known as Nocton Hall, which is located in the village of Nocton, Lincolnshire.

The Hall was last in use as a residential home, in the mid-1990s. It was standing empty for a number of years and as a result it was getting into an increasingly poor condition. It was then substantially damaged by fire in October 2004 and further structural damage occurred as a result of the 2008 earthquake. Since that time its future survival has been uncertain.

This appraisal assesses the condition, significance, options and costs for a number of potential approaches for this 'at risk' building. It is the first stage of a study which will be developed further by NKDC, who will consider market analysis and funding options, as a future part of the process of finding a sustainable solution for the building.

Nocton Hall and its associated site of the former RAF hospital is owned by Leda Properties, who are commercial property managers and developers, based in Abingdon. This company purchased the site from the Receivers, following the closure of the residential home. It is understood that there is an MOD claw-back of 50% of any developer profits made, which expires in approximately 11 years.

The Options Appraisal has been part funded by English Heritage, and the brief for the Appraisal was agreed between the District Council and English Heritage.

Anderson and Glenn, Conservation Architects of Boston, Lincolnshire, are grateful to the Planning Officers and Quantity Surveying Section of NKDC for their assistance in preparing this report and for the constructive comments they have provided.

1.1 Site Description and Location.

Nocton Hall is located in the village of Nocton, in the local authority administrative district of North Kesteven in the County of Lincolnshire. The village is on the B1202

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between Metherringham, to the south and Potter Hanworth to the north. It is seven miles south east of Lincoln. The Grid reference is TF 0664 and Post Code is LN4 2BA.

Nocton is a fairly small settlement and the historic core of the village, plus the immediate grounds, surrounding the Hall, is designated as a Conservation Area. The B1202 road winds through the village and the entrance to the Nocton Hall site is on the east side of the road, beside a stone built gate lodge. This building, the Gardener's lodge within the grounds, and the Hall itself are all listed Grade II. A further building, the Pheasantry, constructed within the west wall of the pleasure grounds surrounding the Hall, is listed Grade II*. The pleasure grounds also contain a significant number of mature trees, of varied species, of which 448 are protected by Tree Preservation Orders (TPOs)

Nocton Hall itself is set well back from the main road, through the village, on a slightly raised site, just to the east of the main drive through the Pleasure Grounds. The Hall is adjacent to the Cottage Nursing Home, which has been converted from outbuildings, which previously formed detached ancillary accommodation to the principal building.

The Hall is currently shrouded by trees from the main access route, and only glimpses of the gables are visible above the trees.

1.2 The Options Appraisal

Anderson and Glenn Conservation Architects provided a successful bid to NKDC to carry out this Options Appraisal on Nocton Hall. The brief comprised the following pieces of work:

- To carry out a preliminary survey of the building.
- To provide assessment of the repair and remedial work required, including any structural repairs.

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- To prepare outline proposals for consideration by NKDC to enable it to determine its preferred option for future use in applying to funding organisations.
- To investigate options for future use – including sketch layouts and elevations. These to be for the Listed Building only, and not to include sketch layouts for any potential enabling options, on the adjacent site.
- To provide estimated costs for repairs and remedial work taking into account the possible constraints of the site's location.

1.3 The Process

The decision to fund an options appraisal follows on from the involvement of English Heritage, East Midlands Team, in working with NKDC to assess the practicality of serving an 'Urgent Works Notice' on the existing owners. The initial survey, undertaken by Anderson and Glenn and the Conservation Engineer, Ed Morton of the Morton Partnership, established that a conventional 'Urgent Works Notice' would be difficult to set up within the budget already allocated, because of the dangerous condition of the building, due to its collapsed basement, and significant amount of loose masonry on high level exposed wall heads.

In order to provide a full assessment of the potential of the buildings the same team were involved in the appraisal exercise. The whole building was recorded, in its ruined state, by electronic survey techniques and 'as existing' drawings were prepared, by an experienced historic buildings surveyor, using Autocad. A condition survey and structural assessment were made of the building in its current state.

Meetings were held with NKDC and a presentation of the proposed approaches given to the Client before it was fully drawn up.

'As existing' and 'as proposed' drawings have been prepared, the latter notated to indicate an outline schedule of necessary works. These were sufficiently detailed for the NKDC Quantity Surveyor to prepare budget costings for the options.

1.4 Scope of the Inspection

The report is made on the basis of a number of inspections carried out between May 2010 and August 2011. At the time of the visits the weather was reasonably fine. The first inspection was made as part of the assessment for preparing an 'Urgent Works Notice'. For this, access to higher levels was provided by a hired cherry picker. All other inspections were made from ground level and were based on visual observations on site and from record photographs. The survey drawings were then used to record the on site observations.

No enclosed spaces or inaccessible parts, such as boarded floors, roof spaces or hidden timbers have been opened up for inspection. Our insurers require us to state that we have not inspected areas that were unexposed or inaccessible and we are therefore unable to report on the condition of certain areas of the Hall. It must also be noted that parts of the building are extremely dangerous and it was not possible to enter to carry out detailed surveys of internal walls. These areas, where possible, were inspected by the structural engineer and conservation architect by use of the extending boom on the lorry mounted large heavy duty cherry-picker.

1.5 Condition.

In 2009 the Victorian Society stated that; 'At first glance Nocton Hall seems to be just an intriguing, burnt out ruin, far beyond repair. Amazingly that is not the case and most of this grand Victorian Hall could still be saved. It was originally built as a private house for the Earl of Ripon, since then it has been an RAF hospital and a residential home. In the mid-1990s it was bought by a property developer. The hall was repeatedly targeted by vandals and then in 2004 the main house suffered a major fire. Bringing this impressive hall back into use would be a huge undertaking; in the meantime both the owner and the local authority have a responsibility to protect this Grade II listed building from further decay'.

We carried out our first main inspection of the Hall from high level on Monday, May 10th. 2010 This was a joint effort by Mary Anderson and James Glenn of Anderson & Glenn (A&G) accompanied by structural conservation engineer Ed Morton of The

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Morton Partnership. Whilst we were there we informed the Manager at the Cottage Nursing Home that the inspection was being undertaken. We also had a visit from the Local-Police-Team. As a result of our visit and detailed discussions on site, Ed Morton has written to A & G setting out the areas of concern that were jointly agreed. A copy of his letter is found in Appendix 9.2

The cherry-picker was able to locate on the hard-standing in front of the Hall on the north side, set a reasonable distance away to avoid a drain run and also to keep well clear of the basement areas. It was able to just reach all of the parts that we wanted to see, although we were not able to get close to the external faces of the Hall, apart from the north side. It was however a very worthwhile exercise, as we were able to get close to the wall heads, and also to the remaining dormer window gables. This has helped us to appreciate the plan form and structural make up of the building. In addition it was possible to carefully handle and test some of the remaining upper areas and as can be seen from the enclosed report from Ed Morton.



Plate 1: *The Hall photographed from a cherry-picker by A&G in 2010.*

Whilst on site we were assisted by a couple of contractors who released the Heras fencing to allow access for the cherry-picker, and also cut through swathes of vegetation to allow us to have a clear way around the site.

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With great care we also walked through the building to see the extent of collapse of the basement areas. We were also able to access the kitchen wing at ground and first floor level. This however should not be attempted by people unused to dealing with old buildings in a wrecked condition as the floors are not at all safe. The basement area was also inspected, where accessible.

The initial detailed inspection was undertaken with the main purpose being to develop a list of works recommended, in outline, by English Heritage, to secure the building under an Urgent Works Notice. As a result of this inspection, it was established that the current condition of the ruined structure meant that these limited, low cost, works could not be sensibly, or safely, carried out. This was due to:

- i) The amount of loose material on top of the wall heads.
- ii) The debris at ground floor level, some of which had collapsed through the basement area, meaning that internal scaffolding would be very difficult to implement.
- iii) The charred remains of timbers, built into the walls, causing possible hinge points/weaknesses in the structure, which is no longer tied together by roof and wall structures.

The extent of urgent works required to secure the building does not remove the legal responsibility from the current owners to carry out sufficient works to stabilise and make safe this historic listed structure. The schedule of urgent works and indicative costs are included in 10.6 Appendix F.

It was as a result of this initial survey of the building that the District Council were advised by English Heritage to carry out an options appraisal on the building.

The further visits, by the structural engineer and conservation architect, concentrated on looking at the general condition of the exterior of the shell, marking defects on the elevational survey drawings and noting the areas of weakness caused by the fire damage and the subsequent erosion and weathering.

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The current condition of the building (2010/2011) is described on the Anderson & Glenn Condition Drawings, numbers A-164-03 to 10, attached to this report.

This report indicates the condition of the building and identifies defects. It does not purport to be wholly comprehensive or to give definitive solutions for remedial work. Neither is it a specification of materials and workmanship required to carry out remedial work and must not be used for such purposes. The costs given are, therefore, indicative only and for general guidance. They are not based on quotes for the work.

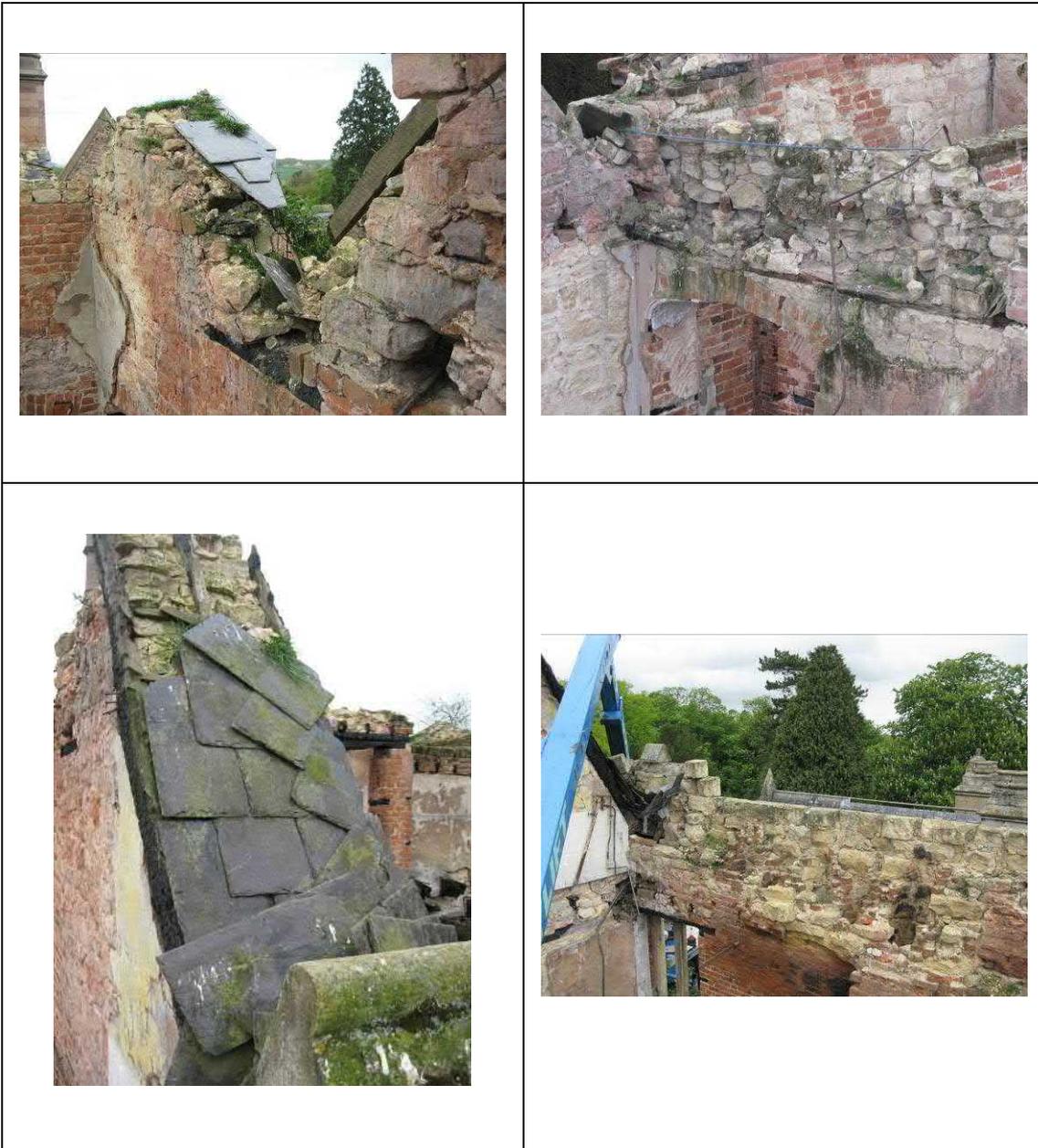


Plate 2: General condition of the wall-heads in 2010.



Plate 3:

Top row: *Pipe and other metal work left hanging after the fire in 2010.*

Centre & Bottom Rows: *Urgent repairs needed to stabilize dormers in 2010.*



Plate 4:

Top & Centre Row: *External vegetation seriously damaging the historic fabric in 2010.*

Bottom row: *Internal vegetation, if left unchecked has the potential to cause further serious damage to the historic fabric, in 2010.*



Plate 5: The East Gable in need of urgent work, in 2010.



Plate 6: The poor condition of the Oriel, in 2010.



Plate 7:

Top Left: *The Projecting Bay before the fire in 2010.*

Top right & Bottom Row: *The poor condition of the Projecting Bay, in 2010.*



Plate 8: *The current state of the slate roof on the Service Wing.*



Plate 9:

Top & Centre Rows: *The poor condition of the Service Wing interior.*

Bottom Row: *The poor condition of the Basement.*



Plate 10: *The poor condition of the Basement.*

1.6 Summary

In discussion with NKDC Officers, it was agreed that six options for the reuse/future of the listed Hall could be considered: The following list provided the initial brief for the Options Appraisal.

- (a) Historic Ruin.
- (b) Full Restoration.
- (c) Retention of the main house as a ruin and restoration of the Service Wing.
- (d) Partial Demolition and rebuilding on top of the surviving ground-floor walls:
- (e) Partial Demolition, leaving only the Service Wing:
- (f) Total Demolition.

An outline schedule of work and 'as existing' and 'proposed' plans were drawn up by Anderson & Glenn for all five options, and presented at a meeting with NKDC Officers on the 14th of October 2011. It had been agreed in earlier discussions to cost

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only five options, omitting as the least favoured, which was the proposal of partial demolition and rebuilding on top of the Basement (Option D). The drawings showing the alterations and scheduled works of the other five options were costed by NKDC's quantity surveyor and the total outline cost, including fees and developer's profit, came to:

Historic Ruin (3.1 Option A): £932,000

Full Restoration for residential use (3.2 Option B): £7,845,000

The Main House as Ruin & restore the Service Wing (3.3 Option C): £2,355,000

Partial Demolition (3.4 Option D): Not Costed.

Leaving only the Service Wing (3.5 Option E): £1,946,000.

Total Demolition (3.6 Option F): £327,000

The building was found to be in a dangerous and vulnerable state, with major structural defects. Nonetheless, a sustainable option that would allow the building to function as a number of high quality apartments was arrived at. This option, however, would need a very extensive amount of repair work and re-instatement of lost elements, to bring the building back into a viable use. Provided sufficient funding is made available to the project, the structure is capable of being brought back into a useable condition. Further work needs to be undertaken by NKDC, to explore funding options, such as enabling development.

1.7 The Pleasure Grounds (Figures 1 to 3)

The following figures 1 to 3 show the changes that have occurred in the Pleasure Grounds from 1885 to 1995. Figure 2 shows them at, what is likely to be, the height of their development, a process which had taken place over at least the previous two hundred years. There are indications that elements of the seventeenth/early-eighteenth century layout remain, most noticeable being the 'Walk and Counter Walk' to the east of the Hall.¹ A comparison between Figure 1 and Figure 2 shows the addition of a southern avenue and a lake to the east of the Hall which were added during the ownership of the Hodgsons.

Plates 11 to 14 appeared in Volume 10 of *Country Life* (1901).²

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Figure 1: 1888 OS Map showing details of the landscape prior to the building of the Hospital. Note the ‘Walk and Counter Walk’ planted to the east of the Hall. (Not to scale).



Figure 2: Detail from the 1905 OS Map: Note the additional avenue planted to south of the Hall and the Lake to the east, which do not appear on the 1888 survey (Not to scale).

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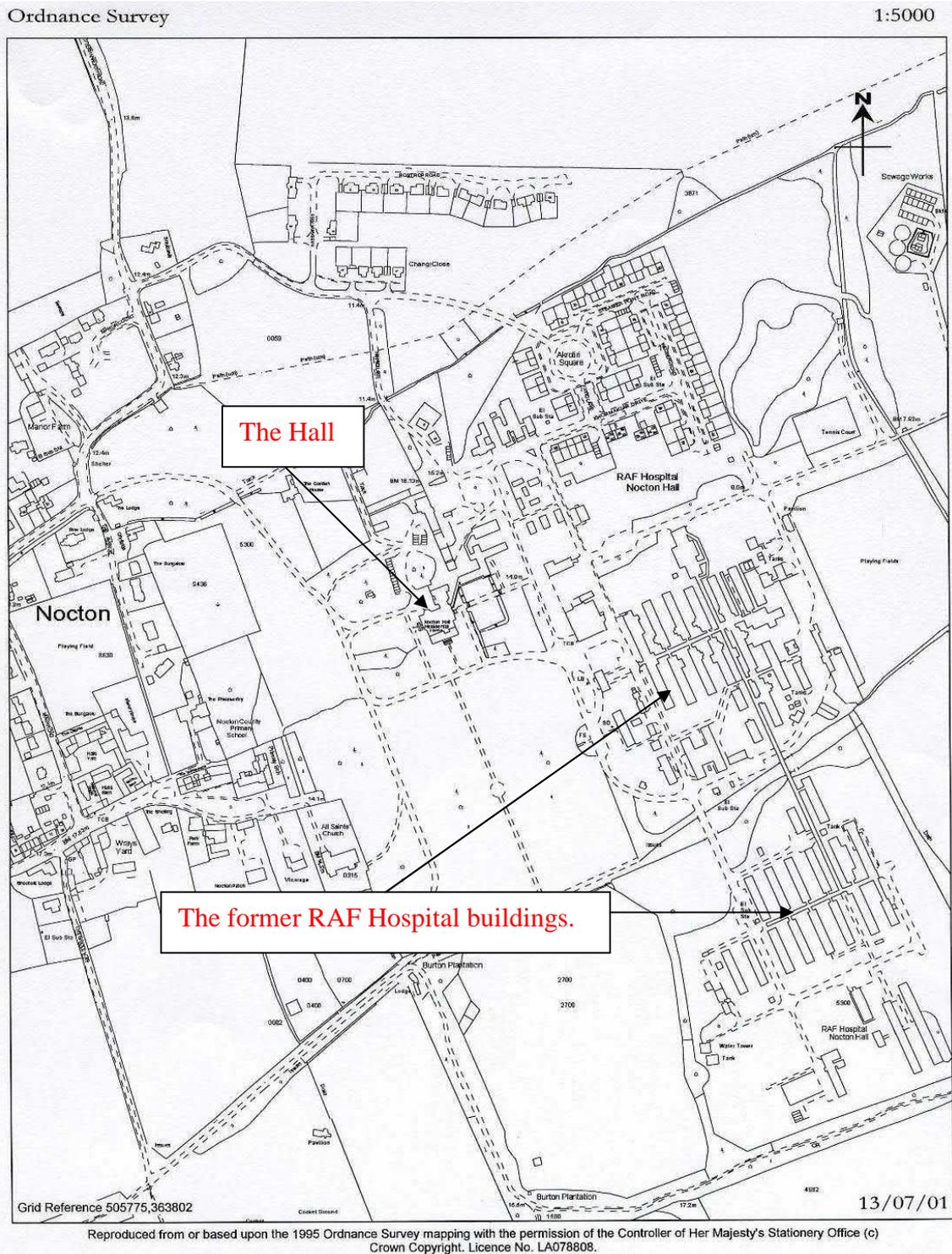


Figure 3: The 1995 OS Map showing the extent of the destruction of the Pleasure Grounds by the Hospital Buildings and their associated activities. (Not to scale):



Plate 11: *An Avenue & Drive at Nocton Hall, in 1901.*



Plate 12: *A 1901 view to the east of the Hall, showing the ‘Walk and Counter Walk’. The important feature was a probable survival from the more formal gardens of the late-seventeenth/early-eighteenth century.*



Plates 13 & 14: The well kept lawns and borders around the Hall in 1901.



2.0 SIGNIFICANCE

2.1 Listed Status

TF 06 SE 5/63	NOCTON	MAIN ROAD (east side) Nocton Hall II
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Country house. 1841 designed by William Shearman. Elizabethan Revival style. Ashlar with ashlar dressings. Slate ridge roofs, with clusters of octagonal moulded stacks. Stone plinth, moulded first floor band and topped with coped parapet. Two-and-a-half storeys on basement. Chamfered cross mullion and transom window under drip moulds throughout. Four bay south front, with projecting off-centre bay, and raised terrace in front with pierced balustrade and stops. Irregular west front with projecting entrance bay with second floor oriel, and external stack to south. Very irregular north front with castellated porch. Two storey and single storey service wing to north. Contemporary fireplaces and plaster ceilings in main reception rooms.

Plate 15: *The English Heritage list description, published in May 1985, before the fire.*

The English Heritage listing of 1985 was the first time that the Hall had been identified as being suitable for inclusion in the *List of Buildings of Special Architectural or Historic Interest*. By that time, as the historic account shows, the building had been converted from a gentleman's residence to first an officer's mess, secondly a nurses' home and then to a residential home for the elderly. The 1985 Listing Inspector clearly looked at the interior, from the description given, but little of note appears to have remained internally. At the time of the listing of Nocton Hall, buildings of a post 1840 construction date were generally only listed at Grade II unless they were by a notable nineteenth-century architect, or had very fine and complete interiors, in which case a Grade II* or a Grade I listing could be considered (Based on instructions given during the 1980s Survey, by English Heritage to their fieldworkers, of whom Co-Author of this report, Mary Anderson, was one).

2. 1.1 Elevations



Plate 16: North Elevation: 2011.

The illustration of the north elevation (Plate 16) shows the principal entrance to the Hall, with the projecting single storey porch with embellished parapet. This façade was of four storeys over the Basement, and it formed an L shaped arrangement with the lower service wing, which is at right angles to it.

The illustration of the west elevation (Plate 17) shows that elevation to be balanced but not symmetrical. It had a secondary entrance, now largely hidden by undergrowth. The gable, on the left had four floors, the gable on the right had three taller floors.

The illustration of the south elevation (Plate 18) faces a wide terrace over the basement and the tall ground floor windows allowed access to this formal garden feature.

The illustration of the east elevation (Plate 19) shows a two storey projecting bay with embellishments, the lower service wing is on the right of the photograph.



Plate 17: *West Elevation: 2011*



Plate 18: *South Elevation: 2011*



Plate 19: East Elevation: 2011

2.1.2 Interior

The majority of the interior of the building has been destroyed by extensive fire damage in 2004. Only the service wing retains some floors and roof surfaces. Only some internal walls in the main part of the house now remain, and part of the ground floor over the vaulted basement, which extends under the whole house and under the garden terrace. We are not aware of any published floor plans of the 1841 Hall, which would have allowed a more complete assessment of the loss of internal partitions.

2.2 Outline History

It is a widely accepted fact that the current Nocton Hall (1841) is set in historic grounds that contained at least two earlier high status houses. The first of these was allegedly converted by the Stanley family, into a residence from what had been Nocton Priory, after the manor had been granted to them by Queen Elizabeth I.³ Britton states (1807) that the second house was constructed after ‘...the greater part of the old house was afterwards taken down, and the present mansion rebuilt by Sir William Elleys, Bart., in the latter end of the seventeenth-century.’⁴ However, Bennett states (1996) that ‘There is ambiguity in Britton’s text, allowing for a confusion over

whether it was a house made out of the priory that was taken down, and replaced on another site by Sir William Ellys's entirely newly built mansion; or an earlier house on the site of the new one, which was swept away to allow for a late seventeenth-century rebuilding'.⁵



Plates 20 & 21: Nocton 'Old Hall' Drawn by R. Corbould from a sketch by Thomas Espin. Engraved and published by Bartholomew Howlett 12th July 1801. A scan of the accompanying text is shown below.⁶

NOCTON.

NOCTON, the seat of the Earl of Buckinghamshire, is situated seven miles south-east from Lincoln, and formerly belonged to the Darcy's.

The greatest part of the old mansion being pulled down was rebuilt by Sir William Ellys, Baronet in the seventeenth century.

The park, pleasure-grounds, and plantations, were laid out in a very superior style, according to the prevailing taste of that time, though now modernized, and are carried on through variety of woods for several miles.

In the park stood a monastery of black-friars, dissolved by King Henry the Eighth. The different prospects are very extensive; and near the house is, perhaps, the finest chesnut tree in England.

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On the 19th of December 1745, Nocton came, through marriage to the widow of Sir Richard Ellys, into the possession of the notorious Sir Francis Dashwood, Baron Le Despencer (1708–1781), of the Hell Fire Club fame. Given Dashwood's licentious and blasphemous life style it seems a strange match, as Horace Walpole described the bride as 'a poor forlorn Presbyterian prude'.⁷ It then passed to the Earl of Buckingham. This second house (Plate 20) was destroyed by fire in 1834 and replaced in 1841 by the third and present Hall, which is the subject of this options appraisal.

This last house was built for Frederick John Robinson, the First Earl of Ripon, who had acquired the Estate, in 1816, through his wife, who was a daughter of the Earl of Buckingham. Robinson was the second son of Lord Grantham, and on the 28th of April 1827, he was created Viscount Goderich of Nocton in the County of Lincoln. In 1833 he was created the first Earl of Ripon. The DNB states that he '*...was probably the weakest Prime Minister who ever held office in this country and was the only one who never faced the House in that capacity*'.⁸ Although he died, aged 76, at his residence at Putney Heath on the 28th of January 1859, he was taken to Nocton for burial. His widow had the church, there, rebuilt to designs of George Gilbert Scott. She died on the 9th of April 1867, aged 74.

The current Nocton Hall was designed and built by William Shearburn (1798-1860), who has been loosely described as an architect and builder. However, he was not a member of the RIBA and most of his work was in and around, Dorking, in Surrey. For example, in 1834, he built the Italianate fronted United Reformed Church in West Street, Dorking and construction of the Union Workhouse, in the same town, was begun in 1840 by Shearburn, and was completed within a year. The latter building, in a Grecian style was built in an H shape and at its peak accommodated 250 inmates. Research has shown that other than Nocton Hall, the number of known building works, attributed to Shearburn, is few and only of local interest.

At first glance it is difficult to understand why the Earl of Ripon chose Shearburn as the architect for Nocton, a location so far removed from Dorking (about 170 miles). This appears even more puzzling as Nocton Hall is the only known example of a country house designed by Shearburn. It is also the only known example of his use of what Harris and Antram describe as the '*..... late Tudoresque*'.⁹ However, a simple

explanation is that Shearburn was the son of the Earl's estate joiner and the latter would therefore have possibly been aware of his other architectural and building work. He would also have been more likely to work within tighter budgetary limits than a fashionable and therefore more expensive architect.



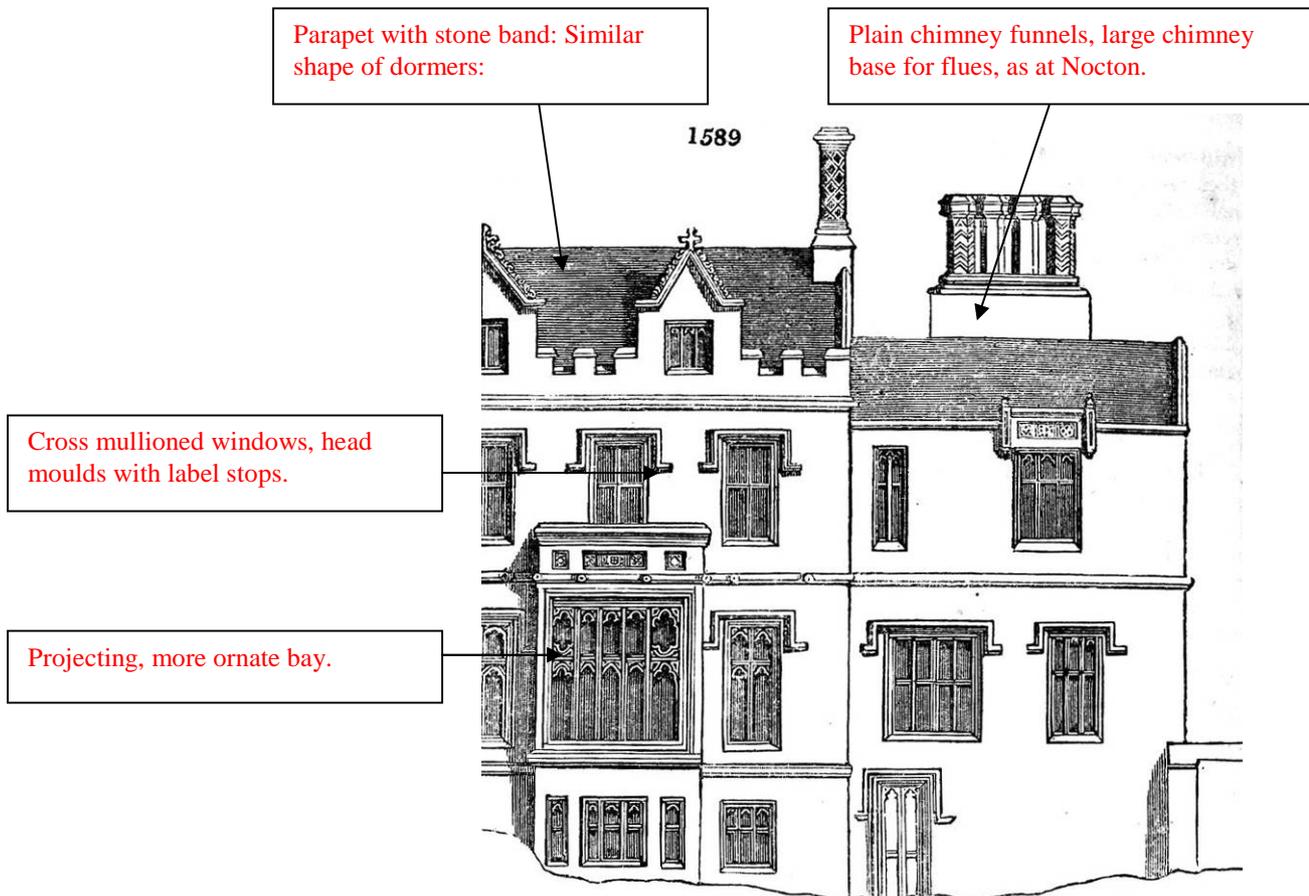
Plate 22: *Frederick John Robinson: 1st Earl of Ripon*

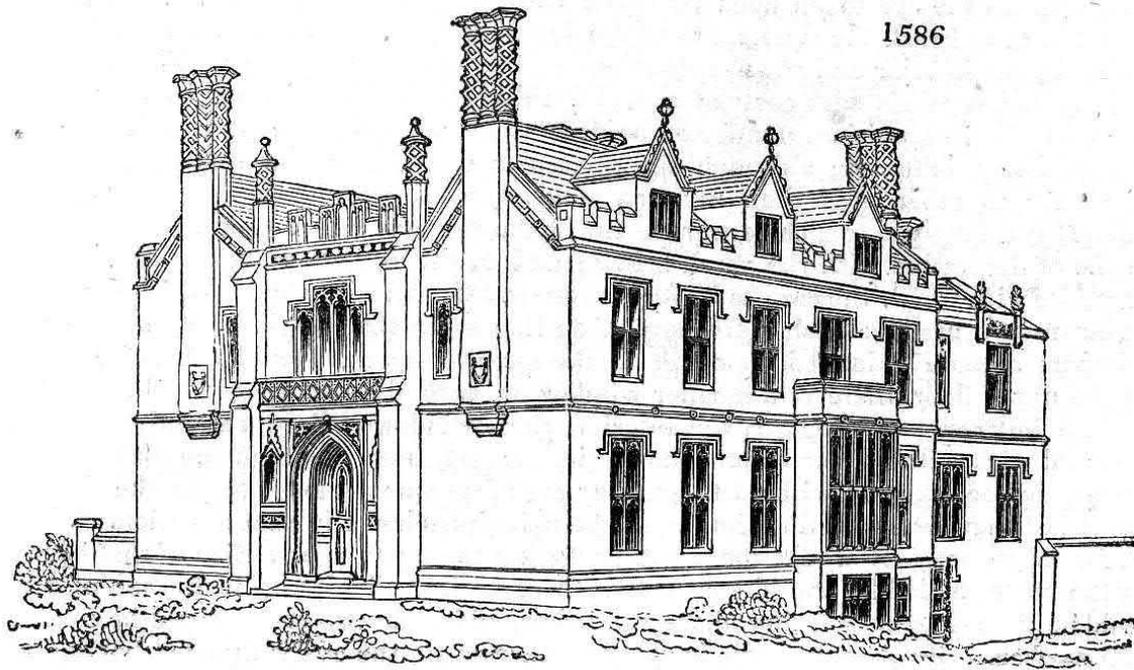
Without other similar examples of Shearburn's work to compare Nocton to, it is impossible to know how much of the originality of the design may be safely attributed to him. However, from an initial trawl through a selection of contemporary architectural pattern books that were readily available in the late 1830s,¹⁰ it is reasonable to suggest that the choice of style for the house and even the specific design elements of Nocton Hall, owe as much to John Claudius Loudon's 1833 edition of *An Encyclopaedia of Cottage, Farm, and Villa Architecture and Furniture; etc.* as Shearburn's individual creativity, especially as Loudon and his published

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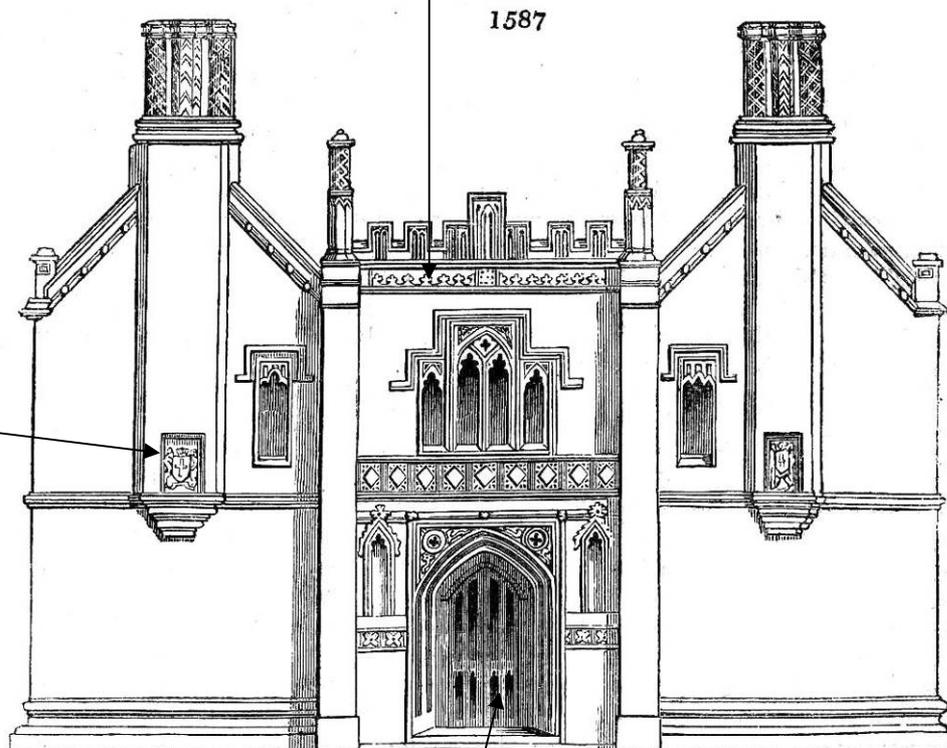
works were at the height of their influence when the current Nocton Hall was being designed. Given the great popularity of Loudon's encyclopaedia it would be surprising if someone in Shearburn's area of business had not consulted the text whilst designing Nocton. The choice of style again would have been very much in line with Loudon's thinking. He strongly opposed the use of Classical architectural themes for English country houses, recommending a style '... which may be considered indigenous to this country.'¹¹ He was not alone in these views. To Loudon's charge that classical architecture was urban and un-English; Pugin added the damning, if somewhat bigoted, criticism that it was pagan.¹²

The following plates, taken from an essay entitled 'A Villa Residence, in the Tudor or Old English Style.' by William Henry Leeds (1786 – 1866), which appeared in the 1833 edition of Loudon's Encyclopaedia, show many similarities to architectural details and ideas used in the current Nocton Hall.¹³ Whilst it is unknown if Leeds had any formal architectural training during his early years, he had become by the 1830s a highly respected architectural critic and journalist, who had translated and also edited a number of influential works on the subject.¹⁴





Castellations, on focal areas.



Heraldic devices, as at Nocton.

Similarity in the front door at Nocton Hall, on the west front.

23 – 25), show Nocton in circa 1902, whilst it was a private house owned by the Hodgson family.

Loudon's 1833 edition of his *Encyclopaedia of Cottage, Farm, and Villa Architecture*, sets out three principles for architecture:

- i) Fitness for the end in view, because architecture was a useful art. This related to size, shape, materials and construction.
- ii) Expression of the end in view – communication of the building's function through design, such as, differentiating between the different functions that make up the whole.
- iii) Expression of some particular architectural style, in that, all its component parts and details must relate to the chosen style.

Loudon defined an English-Villa as a 'country residence with land attached.....laid out as a pleasure ground'. He saw it as a gentleman's residence in the country, and that it should be executed in the 'Old English Style' as this is 'more picturesque and ornamental, it accords best with rural scenery, and as it admits of great irregularity of form, it affords space for the various offices and conveniences necessary in a country house.'

Loudon also advocated multiple chimney tops, indicating numerous fireplaces needed in a cold climate, and large areas of glass in the living rooms. Both of these recommendations are features of Nocton Hall.

Prior to the re-building of the Hall, improvements to the Estate had already been undertaken. The Garden House of 1831, in the pleasure-grounds, and the Old Post Office of 1833, in the village, are two examples. The latter is very similar to a J. C. Loudon cottage design and suggests that Ripon was already interested by his ideas, prior to the necessity of rebuilding the Hall after the fire.



Plate 23: The west elevation in 1902.



Plate 24: The south elevation in 1902.



Plate 25: *An early twentieth-century postcard, showing the drive looking towards the Service Wing. The elevation is full west.*

Nocton Hall is described as ‘Nocton Park’ in White’s Directory of 1856¹⁵ as ‘a large and elegant structure, in the Elizabethan style, erected on the site of the old house, which was burnt down in 1834. The first stone was laid Oct 26th, 1841, by Viscount Goodrich, the Earl’s eldest son.’ Goodrich was then MP for Huddersfield.

In 1859 Nocton Hall passed to the Second Earl of Ripon (formerly Viscount Goodrich), who had been born in 10 Downing Street, in 1827, when his father was Prime minister. He was Viceroy of India from 1880 to 1884. The family also owned Studley Royal in Yorkshire and on his return from India the Nocton estate, together with the Lordships of Nocton and Dunstan, was sold to George Hodgson, who died in 1895 when the Hall passed to his son John. The latter died in 1902, when the Estate passed to his son, Norman Hodgson, who was the third and last of his family to own Nocton Hall.

In 1917, the Hodgsons allowed the Hall to be used as a convalescent home for wounded American officers, in which role it continued until the cessation of hostilities and the Americans left the Hall in 1919.

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The Hodgsons never returned to the Hall and in 1918 it was unoccupied. In 1919 the Estate was sold to W H Dennis of Kirton.¹⁶ Dennis gradually removed Nocton's tenant farmers in order to farm the Estate himself. This led to a decline in village life that had been centred on the Hall as a gentleman's residence.

In 1936 the Estate was sold by W H Dennis to Smith's Potato Estates Limited who employed George Frederick Young as the Estate Manager.¹⁷ By 1937, the Hall was being used as Boy's Preparatory School (C. J. Cruikshank, Headmaster), with a Mrs Elliot, also listed in Kelly's Directory, as living at Nocton Hall.¹⁸

In the Second World War the site was used as an Army Casualty Clearing Station until 1943. It was then taken over by the Americans who set it up as a hospital. At the end of the war the site was purchased, including the Hall to develop an RAF hospital. By the mid-sixties it offered all the facilities of a General Hospital and it continued in this role until 1983. The single storey hospital buildings dating from this period were still on the site, although somewhat separate from the Hall, which became a home for the elderly. However, prior to that it been used as an officer's mess and subsequently a nurses' home. During this period the interior was extensively altered, with the historic interior doors replaced with flush fire-doors, and upper floor windows altered to form fire escapes.

The grounds, currently, still retain a fine avenue along the drive of tall *Sequoiadendron giganteum*, a large walled garden to the north west, currently ploughed up, a terrace around the house, with balustrade and steps, leading to two lower grassed terraces, with urns on the top steps. Within the grounds is a mid nineteenth century lodge, and a gate lodge at the drive entrance. On the west side is an early garden wall in stone, with plinth and moulded ashlar bands, in which is incorporated the classical facade of a c.1700 garden house, in coursed rubble and brick, with brick and ashlar dressings. This acts as a blank facade to a rubble-stone cottage. Whilst the grounds are now somewhat compromised, with later building works and the destruction of some features, it can still be regarded as a historically important garden, at least, in local terms.¹⁹ However, the separate area of the grounds to the east which was developed as the main hospital site, have few early landscape features remaining.

2.3 Statement of Significance

2.3.1 Importance of the Building.

This statement explains why this site is important, what its unique features are, and why it matters.

Nocton Hall is a Grade II listed building, which survives in a large part of its original pleasure grounds, which are within the Conservation Area of the village of Nocton. Three other buildings within the grounds are also listed. Other buildings and structures, including the former walled gardens, have been identified as historically sensitive in the July 2008 updated version of the Nocton Conservation Area Appraisal.

A comparison between the map of 1905 (Figure 2) and with what can be seen on the ground today (2011) shows that the external plan form of the Hall itself has not changed. The north face then looked towards the stables and outbuildings, which formed a long L plan. These still remain, in an altered form as the 'Cottage Residential Home'. Although the land to the east has been altered to form the former RAF Hospital, the immediate layout of the grounds around the Hall itself still retains the 'bones' of the structure evident on the OS maps of 1888 (Figure1) and 1905 (Figure 2).

As the 2008 Conservation Area Appraisal shows, many of the sensitive buildings in the village were part of the Nocton Estate and were built at the time that the builder of the present Hall was in ownership. Although there has been some modern infill within the historic village plan, it is still clearly an estate type village, and the Hall is an important feature, both architecturally and historically, in the context of the Conservation Area.

The current Hall is also important because it is known to be, at the very least, the third large house on this site. It has even been suggested by Bennett (1996) that the current building is partly located on the site of the former seventeenth-century house (Plate 20), which was destroyed by fire in 1834, and that it also incorporates elements from

that house.²⁰ However, our survey, to date, has not identified any obvious evidence of earlier extant fabric within the present 1840s building. Further more detailed archaeological investigation is therefore required to address this question.

Nocton Hall was not designed by a distinguished Victorian architect. It is not one of the four larger mid-nineteenth-century houses, singled out by the authors of the Lincolnshire volume of the Buildings of England as being worthy of special mention, (these were, Harlaxton 1831, by Salvin, Stoke Rochford 1841, Rauceby 1842, and Revesby 1843, all by William Burn). It is, however, of particular interest as a compact country house designed and also probably constructed by an architect/builder who had drawn his inspiration from the popular pattern book of the day for his design. The building is well detailed, built in fine quality local limestone, and despite its extensive fire damage, it still retains the essential elements of its principal elevations.

The history of the owners of the building, from the builder, who was for a short time Prime Minister of Britain, through to its use, both in the First and Second World Wars, by the United States Armed Forces and its subsequent use as an important part of the RAF Hospital, are also of both local and great importance.

Nocton Hall, its site, setting and history are unique; it is a heritage asset which deserves every effort being made to retain and enhance its significance. The Victorian Society clearly views this building to be of national importance (see page 4).

2.3.2 Conservation Philosophy.

The building, although degraded and ruined by fire, none the less remains as a three dimensional structure on its historic site, within much of its original pleasure grounds. Although the latter have been altered by sub-division due to current multiple ownership of former estate buildings and the intrusion of some alien features in the landscape, the layout of the pleasure grounds immediately surrounding the Hall can still be discerned. NKDC's Conservation Area Appraisal recognises this and identifies as sensitive those unlisted historic structures which remain. These are also referred to in the Lincolnshire County Council's Historic Environment Record.

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The interior details have been lost, and of the plan form, only the principal structural walls remain. Sufficient of the gable walls, however, still stand to be able to assess the height of the building and the location of the stone dormer windows can be seen, on most elevations. There is also good photographic evidence of the external elevations.

It is known that the interior had already been compromised by its conversion into an officer's mess/nurses home and latterly an elderly person's residential home. An approach to reconstruction which retains the essential structural walls, but which introduces some sub-division can in this instance be considered, because the internal details have gone. As there is currently no photographic record of the interior available, any attempt to recreate a Victorian interior for the building would be inappropriate as it would be entirely speculative. The approach adopted in this Option Appraisal has therefore been to explore ways of retaining the significance that remains at Nocton Hall in terms of the external appearance of the historic house and its setting in the landscape. Refer to Section 9.2 for the structural requirements relating to these options.

3.0 OPTIONS

3.1 Option A: (Drawings A-164-33 to 40) Retention as an Historic Ruin

3.1.1 Description

This recognises that the building, as it currently remains, has value as a record of the last main house on the site and also in terms of its position within the Pleasure Grounds and the wider Conservation Area.

Sufficient of the fabric survives for it to be retained as an historic ruin, and there are examples of historic houses which have been conserved in this way, which are managed and open to the public. In the East Midlands Region there are, amongst others: Lyveden New Build, near Oundle (National Trust; 1605): Hardwick Old Hall (sixteenth-century and earlier, English Heritage): Both of these buildings remain standing up to their parapets, and are also roofless.

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For Nocton, it would still be necessary to carry out significant works to conserve the remains as a ruin, as shown on drawings A-164-33 to 39. Some rebuilding would be required and unstable stacks/parapets and gables would need to be removed. Without a use, the damaged roof and floors of the service wing would need to be removed.

The difficulty with this option would be one of funding future maintenance and running costs. Ruins are expensive to maintain in a safe condition, as the excellent volume by the late John Ashurst *Conservation of Ruins*, makes clear. Most of the buildings which are preserved in this way have greater significance than Nocton Hall in both architectural and historic terms. They have on the whole been ruined for much longer, and are of earlier fabric and often closely associated with important historic events or people. These ruined structures are managed, in the main, by organisations such as English Heritage or the National Trust. Occasionally they are also managed by site specific trusts. One such example is the Cowdray Park in West Sussex, managed by the Cowdray Heritage Trust. This is in a national park, is an historic Tudor house and has fine grounds and facilities. In these circumstances, however, the whole site has to offer more than just the ruin to be able to support its existence and attract visitors.

The potential for funding, to allow for the presentation of the Hall as an historic ruin, within, where possible, the restored and enhanced Pleasure Grounds, should be explored. Heritage Trust Lincolnshire, who have experience within the County, of both running and maintaining historic ruined structures (at Hussey Tower, Boston, and Topholme Abbey), should be consulted. This organisation can also advise on funding availability.

There are opportunities for a community organisation to be established and this would present a potential strategy for the future management of this site as an historic ruin.

An historic ruin, as a visitor attraction would require car-parking and defined access routes, and this would need to be carefully explored in conjunction with the other owners of residential/business properties within the site. Option C looks at a variation of this approach, which is combining a mixture of full restoration with the historic ruin.

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An alternative consideration for conservation as a ruin would be that it could buy time for an eventual reuse of the building in a way that has been achieved, over a long period, with Gosport Railway Terminal, another nineteenth-century building. This became derelict after it was gutted by an incendiary bomb in 1941. It was eventually conserved as a ruined structure by the Gosport Railway Society, between 1975 and 1995, but only because the building had initially been saved by the local County Council who purchased it in 1974. Its gradual conservation, as a ruin, bought it some time, and safeguarded the site. In September 2011, it was finally reopened as a block of affordable houses. It was thus sixty years after the WWII bomb blast until the building, after careful conversion, was finally in use again with a significant but sympathetic change of use.

For this approach to work at Nocton there would need to be funding for its conservation by the site owners and full support from the Local Authority and English Heritage. The site would need to be made secure until such time as it could go forward for a new use scheme. The cost for this option only relates to its immediate conservation as a ruin; they do not include ongoing maintenance costs or future costs of conversion.

3.1.2 Risks

- 1) Conservation as a ruin would mean the loss of some existing features, such as existing stacks and gables which may be able to be saved if total repair and reinstatement were undertaken now.
- 2) If the building is only mothballed in this way, it will be of little benefit to the immediate future of the Pleasure Grounds and the other buildings of note in the site area, unless it is also developed into a visitor attraction (see Option C)
- 3) Unless this option, as a 'moth-balled' ruin, can be pursued as a legal agreement with a developer, with a back to back agreement once the initial works have been completed for the future works of conversion, it could be problematic to obtain a secure agreement with two separate parties for this option as a two stage process.

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- 4) Funding of ongoing maintenance would be difficult to achieve unless the ruin were developed either as a visitor attraction, or eventually altered to a full restoration.

3.1.3 Benefits

- 1) Conservation of the structure as a ruin could buy time for a longer term solution to the reinstatement of the building to merge, but the final cost will be greater.
- 2) The time bought would allow all avenues of funding to be exploited and tapped into.
- 3) In the present harsh economic climate, sale of high end properties may be slow. Once the housing market becomes buoyant again, the potential for higher market values may increase, allowing a better funded scheme to emerge.
- 4) Retaining the Ruin and restoring the Historic Pleasure Grounds presents a tourism opportunity which could be of significant local importance.
- 5) The Ruin Option preserves the genuine remains without any significant reconstruction.

3.2 Option B: (Drawings A-164-53 to 61) Full Restoration

3.2.1 Description

In the absence of a specific end user, the approach taken with option B has been to consider the optimum conversion likely, in terms of return on investment, for this particular building and site. It was built as a residence, and given the rural location and current associated surrounding uses, the most appropriate new use, in terms of sustainability and sympathetic restoration, is considered to be residential.

Had the building survived intact with the remains of an elegant and historically authentic interior, a restoration back to its original form of single occupancy residential country house might still have been appropriate. However, given that the cost of restoration of the shell and structural elements are very significant, it is

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unlikely that a single dwelling with the additional costs of expensive internal joinery and plasterwork details could ever be recouped. This is especially true now the surrounding pleasure grounds have been compromised by the problems that are often associated with multiple ownership of a landscape that was originally designed as a single unit.

Because the interior has been completely gutted by fire, an approach which allows some sympathetic sub-division, to provide attractively sized three to four bed roomed dwellings, each with their own front and garden access has been devised. This approach retains the main structural walls and former floor levels of the house. Each dwelling would also utilise a basement area for games, storage and similar functions.

Option B also includes three smaller apartments, using the upper floors of the Hall, served from a full height staircase with a further independent entrance.

Sub divisions where required would be made with blockwork.

The approach shown has reconstructed the missing elements at high level, replaced upper windows which had been converted as fire exits, and as far as possible minimised changes to the elevations. The most significant change shown would be the alteration of a ground floor window on the north facing elevation to form the entrance to the upper floor apartments, complete with some steps over the area and metal railings.

As far as possible within the restraints of the limited evidence currently available, the roof plan is based, as closely as possible, on the original form of the previous roof.

The scheme drawn and illustrated, is for assessment and costing purpose only. It is not a scheme that has been worked up for a specific end user, nor is it based on a brief from the existing owners. It is intended to demonstrate the way in which the building could potentially be restored and reused for residential use in a way that could relate to house types of a similar size and quality that are currently found in the village of Nocton.

3.2.2 Risks

- 1) The costs as currently assessed may be greater if the extent of repairs is more extensive than has currently been judged. The longer it takes to move such a scheme forward, the more likely is this to be the case.
- 2) For this scheme to proceed a significant number of high quality dwellings will need to be considered as part of enabling development on the former hospital site. Nocton is a third tier settlement, where only limited development is supported, under current planning policy. This may be objected to locally and could cause pressure on the local infrastructure. Accessibility and sustainability might also arise as difficult issues that would need careful consideration.
- 3) A watertight agreement for the enabling development would need to be drawn up to ensure that it does benefit the ruined Hall and is implemented prior to any new build proceeding.
- 4) In the current economic climate this offer of enabling development may not provide a sufficient stimulus to ensure the delivery of this option.
- 5) Where larger buildings are subdivided in this way it is usual for the individual properties to be leasehold with a management company owning the land. Although this form is common in country house division, it might cause some restrictions in the saleability of the finished properties.
- 6) Some subdivision of the grounds around the Hall would be necessary to allow each house to have a private garden space, but it should be possible to achieve this without any serious detriment to the setting of the Hall. Management of this would be easier to control with an overriding ownership of the site.
- 7) There are significant known development constraints, including access limitations and potential unknown constraints, particularly on the site of the former hospital.

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8) Additional costs may therefore arise, which will need to be the subject of further investigation, in association with the former hospital site.

9) A significant amount of the building would need to be rebuilt, particularly internally and at high level, which may diminish its overall conservation value.

3.2.3 Benefits

1) This option would allow the Hall to be reinstated back to its former external appearance and to continue to fulfil its role as the heart of the pleasure grounds and the Conservation Area.

2) It would retain the overall significance of the house and the site.

3) It could provide attractive residential units within a well crafted and attractive shell, which in turn should encourage the development and sale of further good quality houses on the site. This would bring life back to the Hall site which is currently run down and depressing.

4) Bringing this derelict site and building back into use would be a sustainable approach as it recycles old fabric and at the same time upgrades it in terms of thermal and acoustic performance.

5) The repair and reinstatement of the Hall coupled with the improvement of the landscape of the pleasure grounds would provide an attractive adjunct to the village and be of community benefit. This site has for too long been run down and neglected.

3.2.4 Successful Examples of Commercial Restoration Projects similar to Option B

Some examples where country houses, in the East Midlands, have been successfully converted into quality apartments are:

1) Burley on the Hill, Rutland (1993-8 by Kit Martin), is a Grade I listed house that now provide six apartments.

2) Dingley Hall, Northants, (1980s by Kit Martin), is a Grade I listed house that provides seven houses and three apartments.

3) Ecton Hall, Northants, (1986-9 by Period Property Investments, also by Kit Martin), a Grade II* listed house that now provides twelve apartments; seven houses have been created from the former service buildings; and nine newly built two-storey stone houses in two terraces.



Plate 26: *Ecton Hall after restoration and conversion.*

This house was in a very poor state for over thirty-years. Parts of the building were demolished by the former owners. Internal features were stolen and lead removed from the roofs. It was eventually saved from demolition and the shell converted into apartments. Outbuildings were also converted. Two terraces of stone houses were built around a courtyard to complete the scheme.

Ecton Hall was described in the 1980s as follows: “The rich ochre stone of the garden front is engulfed in Virginia creeper, and sparkles of broken glass litter the terrace. Inside the house, the drawing room fireplace rises above a heap of plaster that the roof has brought down...At one end of the house the winter storms have toppled a

gable, which in falling has crushed the fragile camellia-house below; one surviving camellia blooms among the rubble of ironstone – the only flourishing vestige of Ecton’s former glory”²¹

3.3 Option C: Restore the Main House as a Ruin and fully restore the Service Wing (Drawings A-164-103 to 110)

This shows a combination of Option A and Option B. It allows for the full repair and reinstatement of the service wing, that element of the main house which has survived most intact, and the remaining part conserved as an historic ruin.

The retained element could either serve as a stand alone house, or a house for a caretaker/custodian. Alternatively it could provide a community space that would perhaps provide tickets, coffee, WCS, small shop, displays etc in association with the building acting as a tourist attraction.

This option might be able to work with a combination of enabling development and grant funding. The enabling development would allow for the basic conservation work to the ruined structure to take place by the site owners and the grant funding to take it that one step further to provide a tourist attraction. This would need to be a Trust or similar non profit making body. For the Hall to maximise its potential as a tourist attraction the grounds surrounding the Hall would also need to be restored so that it can sit in an appropriate landscaped setting based on the historic evidence which is available.

3.3.1 Risks

- 1) Conservation as a ruin in this way would still mean the potential loss of some features, such as existing stacks and gables which may be able to be saved if total repair and reinstatement were undertaken now. However the retention of the Service Wing as a restored element would mean that the loss here would be minimised.
- 2) In the present economic climate the funding for such ventures may take longer to achieve as setting up suitable funding packages and applying for funding is a long drawn out process. In the meantime further deterioration to the Hall may take place.

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- 3) This will need careful assessment to see if it would be a viable project and this needs to be explored at the stage when funding sources are researched.

3.3.2 Benefits

- 1) This option may offer the best mix of restoration and conservation in terms of retention of significance.
- 2) The location of a tourist attraction in the attractive village of Nocton has the potential to benefit the local community, increasing its profile and making it a more desirable location. It might also provide some part time employment.
- 3) The number of new dwellings to provide enabling development would be less than required for the full restoration option. This would reduce the potential for stress on access routes and other planning difficulties in developing the hospital site.

3.4 Option D: (Drawing A-164- 78) Partial Demolition

3.4.1 Description

This approach explores the effect of keeping the whole of the service wing but only the ground floor and basement of the main house. The more seriously damaged first floor masonry of the main building would be taken down and the first floor rebuilt from the string course upwards with a new upper storey with simplified detailing and gablettes or similar over the first floor windows, utilising a new roof structure to provide part room-in-the-roof accommodation.

It was quite clear from the elevation produced that this approach of a reduced scale Nocton Hall would not work well in visual terms. The size and form of the architectural detailing of the Hall is such that it cannot be satisfactorily mixed with a plainer pared down form of architecture. Also the scale of the ground floor features and openings demand at least two full floors over with appropriate detailing for a successful architectural composition to work.

This approach was dismissed as it would not retain sufficient significance of the listed building to be an acceptable approach. It would in fact visually detract from the saved

two storey wing. It is questionable whether the building would still be listable and thus whether listed building consent for an alteration of this type could be agreed. It would not adequately fulfil its role as the Principle House of the Pleasure Grounds or centrepiece of the Conservation Area. It was decided in discussion with North Kesteven District Council not to cost this option or pursue it any further.

3.5 Option E: (Drawing A-164-98) Partial Demolition; Retention of Service Wing and Basement only.

3.5.1 Description

The service wing has a slightly different character from the main house. Visually it was designed to be a smaller more domestic scale, the roof forms are narrower as are the wings, the windows are in proportion and it can stand alone as a self contained wing without looking too bereft.

This would make an attractive self contained single house in the form shown in Option B where it was one of the three houses created out of the whole complex. However as that exercise demonstrated, this is quite a modest house whose footprint shrinks on each floor. The attic floor would only really produce one room in the roof because of the narrow span and position of stack and valley rafters.

Because filling in the basement would be a costly exercise and the basement is in fact the least damaged part of the house, this Option shows the retention of the basement which could be kept as a low key element in architectural terms. It would not therefore be in a visual fight with the retained service wing. This large space could provide useful accommodation such as a games room and also offer the potential for a workspace/office/studio attached to the house formed from the retained service wing. It could be lit by roof lights hidden in energy efficient green roof and have views out to the south where the former terrace wall sits. It would be designed to be a modern well insulated building which would have little impact on the landscape of the pleasure grounds.

3.5.2 Risks:

1. The partial demolition of the main house would need to be carried out carefully to ensure that the basement area and the retained portion of the building are not damaged.
2. The costs of achieving this may be significantly greater than allowed for. This is because it requires the Basement to be a stand alone structure, and the works needed to stabilise and waterproof the roof, are difficult to assess.
3. Although part of the historic structure is saved, and this element may be able to retain its listed status, the bulk of the house will be removed. Listed building consent for this option may be difficult to obtain and could take a long time to achieve. Continued deterioration of the ruin would occur making the end result more costly.
4. The historic significance of the house and the site is considerably reduced. This also diminishes the quality of the Nocton Village Conservation Area.
5. The retention of just this element may be of insufficient interest to any development company and so the site could continue to languish. This would have a knock on effect on the pleasure grounds and the other buildings located within the site boundary. It might also delay the removal of the former hospital buildings and improvements of that site.

3.5.3 Benefits:

1. Part of the listed structure is saved and reused.
2. The basement, which may retain evidence of the earlier houses on the site is also retained and could be examined archaeologically in the process of its reuse.
3. Less enabling development would be required to achieve this option and so the effect on the village and the remaining site would be less than that required for the full

restoration as the number of new dwellings to fulfil the conservation deficit would be reduced.

3.6 Option F: Full Demolition

3.6.1

This option looks at the total demolition of the whole of the fire damaged structures on the site and the rubble being used to fill the basement area which would then be grassed over.

Demolition of listed buildings is covered by the Planning (Listed Buildings and Conservation Areas) Act 1990. Planning Policy Statement No 5 (2010) sets out government guidance on these issues under Policy HE9

Policy HE9.1 There should be a presumption in favour of the conservation of designated heritage assets and the more significant the designated heritage asset, the greater the presumption in favour of its conservation should be.

Policy HE9.2: Where the application will lead tototal loss of significance local planning authorities should refuse consent unless it can be demonstrated that:

- i. The substantial harm to or loss of significance is necessary in order to deliver substantial benefits that outweigh the harm or loss; or
- ii.
 - a. The nature of the heritage asset prevents all reasonable use of the site; and
 - b. No viable use of the heritage asset itself can be found in the medium term that will enable its conservation
 - c. Conservation through grant funding or some form of charitable ownership is not possible
 - d. The harm or loss of the heritage asset is outweighed by the benefits of bringing the site back into use.

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These requirements are such that it is extremely rare for the demolition of a listed building, even if it is in a ruined condition, to be approved. We have not been able to find an example within the last ten years of listed building consent for demolition being approved in the East Midlands Area.

In the case of Nocton it is difficult to see how the case for public benefit can be argued in support of the demolition of this structure. It is not in a location such as a public highway, where it is causing a risk to members of the public other than those who deliberately trespass. Clearance of the site will not result in a new building that is essential for regeneration or community benefit. There are possible options for its re-use, some of these might attract public funding and there is also the potential for enabling development. Added to this the building in its present form still retains significance as this report demonstrates.

There are examples of ruined buildings which are listed and currently have no use, which have not been delisted by the Secretary of State. One such is the Marine Hotel at Freiston Shore near Boston.



Plate 27: *The Grade II listed, Marine Hotel, Frieston Shore, Boston*

Delisting is rare and would not take place if the structure still retains historic significance, which clearly Nocton Hall does.

3.6.2 Risks

1. Given that the Service Wing could be saved as a single dwelling, and the possibility of saving the whole complex is also realistic, this option would be very unlikely to gain listed building consent without requiring to go to a public inquiry. These take time and can be costly in terms of fees; the outcome could well be that consent is not forthcoming. Listed Building Consent for full demolition, even of ruined structures, is extremely rare.

2. The demolition method costed would not allow for full archaeological assessment of this important historical site. It is quite possible that were it to be decided that demolition is allowed it would have to be demolished using scaffolding and by hand. This would increase the costs by least a further £150.000.

3. It is unlikely that any enabling development would be allowed towards any of the costs for this option.

4. Infilling of the basement area would bring about settlement which could cause safety issues in the future.

5. The site would be sterilised for future building.

6. The historic relationship between the Hall and its wider landscape would be lost.

7. The removal of the Hall could lead to a long term decline in the site and the setting of the Conservation Area and the other listed buildings in the grounds.

3.7 Preferred Options: (Drawings A-164-53 to 61 & Drawings A-164-103 to 110)

Option B is one of the preferred choices because it may offer the most straightforward way of unlocking the potential for the site and also retains considerable significance. In order to achieve this it would be necessary to consider enabling development on the former hospital site as it is unlikely that any public funding for this would be available. It would allow the full reinstatement of the Hall; an approach to the rescue of derelict historic country houses which has been successfully achieved on different sites throughout the UK. A number of these are Grade II* listed, and have been converted from single dwellings to apartments.

The scoping exercise by GeraldEve, of 2008, for North Kesteven District Council suggested that 50 to 74 new housing units of around 1,500 sq feet per unit would be required to fund the restoration of the house, with 0% affordable housing included. This was based on an assessment of the costs of restoring the Hall being in the region of £4.5m to £5.5m at the time the report was written. It is not clear whether these costs included fees and archaeological investigations. The current cost assessment including those elements is £6,826,000. This does not include the upgrading of the Pleasure Grounds, but does include an element of external works immediately around the site of the house. Upgrading the Pleasure Grounds, immediately around the Hall, to a standard that a fully restored building would require, an additional budget of £300,000 should be factored in.

In order to both maximise the potential for the site and to provide adequate provision for the Hall and its setting, it would be important to ensure that any development in the former pleasure grounds is both of low density and good quality. A very careful design brief would need to be set out and agreed with English Heritage to preserve the setting and character of the Hall, to retain and enhance the landscape of the grounds and avoid compromising the special features of the Conservation Area and important views within and from this rural settlement.

This option would have to be carefully balanced, by the District Council, with many other factors. All of those involved in the decision making process will have to

consider the desirability of restoring the building against the significant amount of growth within a third tier village.

Option C offers an alternative way forward. This combination is in many ways more attractive in the long term view, because it will have a lesser impact on the third tier settlement. It does, however, require extensive exploration of funding opportunities and the economics of heritage tourist attractions within the Lincolnshire area, particularly as tourism support, within the County, has been diminished by the closure of 'Visit Lincolnshire'.

3.8 Do Nothing

The obligations in terms of making the site secure and building safe, rest with the owners of the site; Leda Properties. There is as yet no specific obligation on the owner of a listed building to keep it in good repair. However, there is a requirement under law for a common duty of care. This would normally apply to the occupier or the owner.

In terms of prevention of deterioration and damage, the Secretary of State may authorise the Local Authority to compulsorily acquire the building and relevant land. The Local Authority may also execute works, which are urgently necessary for the buildings preservation. However, this is not an obligation on the Authority. Prosecutions can be brought against persons causing or likely to result in damage to listed buildings.

The Planning Act of 1990 imposes a general duty on the Local Planning Authority to have special regard to the desirability of preserving the building, or its setting or historic interest in possesses (Clause 66). However this relates solely to the granting of planning permission for development.

3.8.1 Risks

- i) The building will continue to decline and deteriorate.
- ii) The costs of restoring the building will increase.

- iii) There will be an increasing risk to trespassers who break into enclosed areas.
- iv) The anxieties of the local community, and in particular those of the residents on the site, will increase and pressure groups will be likely to be formed.
- v) The good reputation of North Kesteven District Council will suffer.

3.8.2 Benefits

None.

4.0 ISSUES

The Hall was already at risk before the fire of 2004. It had been empty for a number of years and during this time no maintenance appears to have been carried out. The complex roof plan would have had hidden gutters which when blocked with vegetation would have overflowed into the roof void. Hoppers were clearly blocked, and overflowing onto the external masonry had occurred, causing decay to stonework and mortar. Weeds and vegetation had grown up around these damp areas.

The fire and subsequent loss of all timber roofs and floors, apart from within the service wing, and the degradation to high level masonry and stacks have, as the section on current condition and drawings indicate (Drawings A 164/03-10) led to loss of historic fabric and areas of potential instability.

The area has been secured and fenced off, but there have none the less been theft of metals, masonry and other important elements such as the nineteenth-century clock that was situated on the north side of the service wing. The site is also featured on ‘thrill-seeker’s’ web-sites, putting the building at risk of further damage by intruders.

Since the dereliction of the building, vegetation within the open structure and also in the basement areas has grown up, and there are now many self set trees in close proximity to the building whose roots will cause further damage to masonry and foundations.

- iii) There will be an increasing risk to trespassers who break into enclosed areas.
- iv) The anxieties of the local community, and in particular those of the residents on the site, will increase and pressure groups will be likely to be formed.
- v) The good reputation of North Kesteven District Council will suffer.

3.8.2 Benefits

None.

4.0 ISSUES

The Hall was already at risk before the fire of 2004. It had been empty for a number of years and during this time no maintenance appears to have been carried out. The complex roof plan would have had hidden gutters which when blocked with vegetation would have overflowed into the roof void. Hoppers were clearly blocked, and overflowing onto the external masonry had occurred, causing decay to stonework and mortar. Weeds and vegetation had grown up around these damp areas.

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Since the dereliction of the building, vegetation within the open structure and also in the basement areas has grown up, and there are now many self set trees in close proximity to the building whose roots will cause further damage to masonry and foundations.

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The site itself is in enclosed pleasure grounds with limited vehicular access and so the potential for conversion to a wide variety of new uses is far more limited than would occur on a more prominent and more easily accessed site.

The size of the Project and its complexity means that it is unlikely to be within the scope of any building preservation trust or similar charitable organisation, which would normally be needed to obtain grant funding towards the cost of restoration and reuse.

The setting of the site has already been compromised by:

i) The development of the site to the northeast of the house as the RAF Hospital, with the loss of the early avenue, which extended out from that side of the Hall. The map of 1888 (Figure 1) shows that this was laid out in the form of a central walk and counter walks, a format which was popular in the late seventeenth and early-eighteenth century.²² This was, therefore, possibly, a remaining feature from the early formal gardens that were later altered by the Fourth Earl of Buckingham. There is an extant example at Easton Park, Lincolnshire.

ii) The sub-division of the historic pleasure-grounds, which have occurred as a result of the separate ownership of what were formerly estate buildings, has inevitably compromised the integrity of the original setting of the Hall. These include:

The Lodge

The Garden House

The Pheasantry

The former Stables, now dwellings

The Coachman's Cottage

The Cottage Nursing Home

iii) The drive to the hall, which was distinctively lined by large specimens of *Sequoiadendron*, is now compromised by the numerous self sets, which have grown up due to years of neglect.

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The Hall in its present condition is known to be an attractive place for bats to roost as is also the trees and scrub surrounding the property, which provide shelter and nesting sites for birds. The proposals for the repair and restoration of the Hall would have to take these factors into account and this may place restrictions on the timing of certain activities. At this stage it is not possible to assess what effect this might have on any development of the site, but it is likely to add cost to the overall budget if work has to be planned to avoid certain times of the year –notably winter and summer.

The site is one with great archaeological interest and any work to the Hall, will need recording archaeologically as it is suggested by the HER that the structure contains evidence of earlier phases of buildings on the site. Irrespective of the accuracy of this claim, it is certain that any works to provide drainage, and any excavations will require archaeological monitoring and possibly investigations.

The large chestnut tree on the north side of the Hall is one of considerable antiquity and significance. The number of trees on the site with TPOs means that prior to any works being considered a tree survey of those likely to be affected should be instigated.

These factors, although not as critical as the current state of the structure of the main house, all contribute to the negative views of Nocton Hall

The planning context, dealt with in Section 5.0, currently limits the scope for any residential development within the grounds. Any assessment of enabling development potential will need to factor in the substantial costs of clearance of the former hospital site, with its potential risks of asbestos removal and safe disposal.

5.0 PLANNING CONTEXT

5.1 Local Planning Policy Context

The Local Planning Policy Context is set out in the Saved Policies of the North Kesteven Local Plan (Adopted 2007), which is currently under review and is scheduled to be replaced by the Central Lincolnshire Local Development Framework.

The Hall and grounds are located within the defined boundary of the Nocton Conservation Area. The former RAF hospital lies outside of the scope of consideration of the Options Appraisal, however it is noted that these buildings fall outside of both the defined settlement curtilage and the Conservation Area boundary. Former RAF buildings fall within the definition of previously development land contained in Planning Policy Statement 3: Housing.

Nocton is defined as a third tier settlement in the Locational Strategy associated with Policy C1 of the Local Plan as there are a limited range of services within the village to support new development. This means that only limited infill development of up to 3 dwellings will be considered within the defined village curtilage. Nocton Hall, the grounds of the Hall and the former RAF Hospital buildings are all located within the open countryside and outside of the defined village curtilage, which means that the principle of developing the site (i.e. for residential purposes) would not be supported under the current Local Plan (particularly Policies C1, C2, H1 and T1). The main Policies of relevance to Nocton Hall, are as follows, albeit additional Policies may be applicable depending on the nature of a specific proposal:

C1: Development within Settlement Curtilages (establishes the Locational Strategy)

C2: Development in the Countryside

C5: Effects upon Amenities

C18: Design

C19: Landscaping

R3: Safeguarding of Existing Facilities

DC6: Conversion of Buildings in the Countryside to Residential Use

LW4: Trees of Significant Amenity Value

LW8: Protected Species

H1: Housing

T1: Accessibility to Developments

HE2: Archaeological Assessment and Evaluation

HE3: Sites Containing Archaeological Remains

HE4: Demolition of a Listed Building

HE5: Development Affecting the Setting of a Listed Building

HE6: Extension, Alteration or Change of Use of a Listed Building

HE7: Development in a Conservation Area

A list of relevant policies for Enabling Development are outlined separately.

5.2 National Planning Policy Context

Nocton is a relatively small settlement with few community facilities and as a result the grounds of the Hall and the former RAF hospital are not considered to be suitable for residential development to take place, without significantly compromising strategic environmental, accessibility and sustainability objectives set out in National Planning Policies. Although not an exhaustive list, the following Planning Policy Statements are of particular relevance:

Planning Policy Statement 1: Delivering Sustainable Development

Planning Policy Statement 3: Housing

Planning Policy Statement 4: Planning for Sustainable Economic Growth

Planning Policy Statement 5: Planning for the Historic Environment

Planning Policy Statement 7: Sustainable Development in Rural Areas (Part Superseded)

Planning Policy Statement 13: Transport

The National Planning Policy Framework is currently under review and consultation is underway on the Draft National Planning Policy Framework closes in October 2011. The DNPPF continues to place a high emphasis on sustainable development.

Current Local and National Planning Policies do not support the development of either the grounds of Nocton Hall or the former RAF Hospital site. However Nocton Hall is a Grade II listed building at significant risk of further deterioration. In order to preserve this designated heritage asset the District Council may wish to consider investigating the feasibility of Enabling Development, in the form of residential development within the grounds of the Hall or the former RAF Hospital site to fund the restoration of Nocton Hall and its grounds.

5.3 Enabling Development

Planning Policy Statement 5: Planning for the Historic Environment (PPS5) sets out the national planning policy framework for the historic environment. Enabling Development is defined in PPS5 as:

‘Development that would be unacceptable in planning terms but for the fact that it would bring heritage benefits sufficient to justify it being carried out, and which could not otherwise be achieved’.

Policy HE11 of PPS5 deals specifically with Enabling Development and whilst it is acknowledged that the list does not provide a comprehensive list of all relevant matters to a specific case, it does provide a starting point of material considerations, which the District Planning Authority would need to consider.

Policy HE11 – Enabling Development

Local planning authorities should assess whether the benefits of an application for enabling development to secure the future conservation of a heritage asset outweigh the disbenefits of departing from the development plan (having regard to the requirements of section 38(6) of the Planning and Compulsory Purchase Act 2004) or from national policies, taking into account whether:

- *it will materially harm the significance of the heritage asset or its setting*
- *it will avoid detrimental fragmentation of management of the heritage asset*

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- *it will secure the long term future of the heritage asset and, where applicable, its continued use for a purpose sympathetic to its conservation*
- *it is necessary to resolve problems arising from the inherent needs of the heritage asset, rather than the circumstances of the present owner, or the purchase price paid*
- *there is a source of funding that might support the heritage asset without the need for enabling development*
- *the level of development is the minimum necessary to secure the future conservation of the heritage asset and of a design and type that minimises harm to other public interests.*

Current guidance on Enabling Development is contained within the English Heritage publication 'Enabling Development and the Conservation of Significant Places' (2008), which would need to be adhered to.

The DNPPF does still secure the principle of Enabling Development, albeit it has to be acknowledged at this stage that the National Policy Framework is still subject to change.

'Local planning authorities should assess whether the benefits of an application for enabling development, which would otherwise conflict with planning policies but which would secure the future conservation of a heritage asset, outweigh the disbenefits of departing from those policies' (paragraph 190 of the DNPPF).

The issue of Enabling Development is complex and will need detailed further investigation to establish if this is feasible. There is nothing to prevent the current owners from pursuing a planning application for Enabling Development or alternatively the District Council could pro-actively encourage an Enabling Development scheme, depending on the availability of resources. There are significant known development constraints within the site ranging from potential contamination/asbestos issues, access constraints, protected trees, archaeology etc which need to be fully considered. Enabling Development could take the form of a number of different uses, including commercial or residential development. In line

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with the guidance contained within Enabling Development and the Conservation of Significance Places, it is recommended that any District Council led Enabling Development scheme is scoped through a Planning Brief, involving the local community and all relevant consultees

Any Enabling Development proposal must consider the full impact on the setting of Nocton Hall and the District Council has confirmed this would need to be a full planning application. Furthermore the level of development must be the minimum necessary to secure the restoration of Nocton Hall and its grounds and will therefore need to be supported by a robust financial justification for the District Council to consider. The development may also be subject to Environmental Impact Assessment, depending on the nature, size and precise location of the development. Finally the District Council would need to ensure that any Enabling Development proposal properly secures the restoration of Nocton Hall and its grounds, along with any future management requirements, through a Section 106 Legal Agreement and that the heritage benefits are delivered prior to the commercial elements of the scheme.

The following Saved Local Plan Policies are likely to be of relevance to any scheme of Enabling Development:

C4: Infrastructure Provisions by Developers

C5: Effects upon Amenities

C6: Community Safety

C7: Comprehensive Development

C10: Flood Risk

C12: Contaminated Land

C14: Surface Water Disposal

C16: Sewage Disposal

C18: Design

C19: Landscaping

C20: Accessibility

C21: Energy Efficiency

H1: Housing

H2: Design and Layout of Residential Development

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H3: Density

H4: Public Open Space Provisions in New Residential Developments

H5: Affordable Housing

E4: Employment Development in the Countryside

T1: Accessibility to Developments

T2: Public Transport Facilities

T3: Maximising Travel Choice

T4: Safety

T5: Parking Provision

RST2: Protection of Existing Public Rights of Way

RST4: Public Access to the Countryside

DC6: Conversion of Buildings in the Countryside to Residential Use

LW4: Trees of Significant Amenity Value

LW8: Protected Species

HE2: Archaeological Assessment and Evaluation

HE3: Sites Containing Archaeological Remains

HE5: Development Affecting the Setting of a Listed Building

HE6: Extension, Alteration or Change of Use of a Listed Building

HE7: Development in a Conservation Area

In addition the Nocton Hall Conservation Area Appraisal will be of relevance.

6.0 PROJECT COSTS

6.1 Introduction

The costs have been prepared NKDC's Quantity Surveyor; Ian Spreadborough from the Proposal Drawings prepared by Anderson & Glenn, with input from Conservation Architect, Mary Anderson and Conservation Engineer, Ed Morton of the Morton partnership.

6.2 Market Analysis & Valuations.

As part of any enabling strategy the number of houses allowed in any permitted development that is intended to fund the restoration of the Hall will need valuation input. This should be from a qualified property surveyor, who is familiar with the local housing market and the prices any newly developed residential properties may be expected to sell for.

6.3 Funding Potential for the Options.

Enabling development will be needed to fund the proposed options for residential conversion use of the Listed Hall. More detailed work is needed to provide soundly based assessments of the development needed to support preferred options for the Hall. Policy and guidance for this is set out in great detail in the English Heritage publication *Enabling Development Policy and Guidance*, which was updated in 2008.

A detailed development appraisal of the existing site on which the current derelict hospital buildings still stand, will be required. This has to include the market value of the completed development and deduct the costs of carrying out the work to reach the residual costs.

The GeraldEve Report identified the following additional actions which are still required to investigate the extent of enabling development:

- i) Valuation of the land at Nocton.

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- ii) Extent of works in respect of services, external works, landscaping, highways capacity, access achievability and planning risk.
- iii) Cost consultant to identify costs associated with the above.

To the GeraldEve list also needs to be added: Removal of hospital structures and remedial works.

Before any enabling development is put forward to a developer, as a means of securing the conservation of all or part of the ruined and derelict Nocton Hall, it is important that the possibilities of funding by other means, such as grants, have been fully explored. This is because enabling development must be seen as a subsidy of last resort. For these reasons no numbers of potential new houses have been set against options A to E, as this is too early in the decision process to confirm.

6.4 Financial analysis.

Once the funding sources and enabling development potential have been fully explored, an assessment shall be provided to include the following:

Capital Costs: To include: Preferred option for the Hall, development costs, costs of site clearance of the hospital site, additional landscaping costs, and enabling development.

Resale Values: Or other anticipated incomes.

Maintenance Costs: If relevant, relating to ruined options A & C.

Deficit to be Bridged: Working capital requirements, including costs, interest, repayment terms, timing.

Cash Flow Projection: Source of funds, including how the Project meets the funders criteria and any potential donors and sponsors.

Long Term Management and Financial Implications of the Preferred Scheme:

Who will maintain the building, how will this be provided for? If the property is to be sold, how will this be done and what obligations will be placed, if any, on any future owner or owners.

Conclusions and Recommendations: This study has shown that there are a variety of options for the Grade II Listed Nocton Hall, and that at least two of these have the potential to provide a long term future for the hall and its associated site.

Further work is required in order to complete this study, so that the future actions needed to implement a preferred option can be progressed to the next stage.

7.0 IMPLEMENTATION STRATEGY

7.1 Identification of next steps to be considered

1. Further development of the preferred design option (s) to provide outline specifications and more detailed costings.
2. Site based surveys to establish areas of archaeological significance, landscape features at risk, public rights of way or way leaves.
3. Briefs for new development.
4. Briefs for landscape restoration.
5. Market research; end user research.
6. Community and stakeholder consultation.
7. Development of project programme, potential for phasing, exploration of means of delivery.
8. Research into any funding potential, financing options and VAT position/costs.

8.0 REFERENCES:

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- ¹ *Country Life*, Volume 10 (London, 1901), Page 403; also see John James, *Theory and Practice of Gardening etc.* (London 1712).
- ² *Ibid*, Pages 402 – 406.
- ³ Carol Bennett, 'E. J. Willson and the Architectural History of Nocton Old Hall', in *Lincolnshire People and Places: Essays in Memory of Terence R. leach (1937-1994)*, edited by Christopher Sturman, (S.L.H.A. Lincoln 1996). Page 27.
- ⁴ John Britton, *The Beauties of England and Wales; or Original Delineations, Topographical, Historical, and Descriptive, of Each County, Volume IX*, (London 1807). Page 756.
- ⁵ Carol Bennett, E. J. Willson and the Architectural History of Nocton Old Hall, in *Lincolnshire People and Places: essays in Memory of Terence R. leach (1937-1994)*, edited by Christopher Sturman, (S.L.H.A. Lincoln 1996). Page 26.
- ⁶ B. Howlett, *A Selection of Views in the County of Lincoln; comprising the Principal Towns and Churches, the Remains of Castles and Religious Houses, and the Seats of the Nobility and Gentry; with Topographical and Historic Accounts of Each View.* (London, 1805).
- ⁷ DNB Volume Supplement Volume II (London 1901), Page 113.
- ⁸ DNB Volume XLIX (London, 1897), Page 11.
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- ¹⁰ Charles James Richardson, *Observations on the Architecture of England during the reigns of Queen Elizabeth and King James I, etc. etc.* (London 1837) & Henry Shaw, *Details of Elizabethan Architecture*, (London 1839).
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- ¹² Mark Girouard, *The English Country House*, (Oxford 1973) Page 33.
- ¹³ J. C. Loudon: *An Encyclopaedia of Cottage, Farm, and Villa Architecture and Furniture; etc.* [London 1833]
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- ¹⁵ William White: *History, Gazetteer, and Directory of Lincolnshire, Etc.* (Sheffield, 1856) Page 365.
- ¹⁶ *Kelly's Directory of Lincolnshire*, (London, 1919), Page 449
- ¹⁷ *Kelly's Directory of Lincolnshire*, (London, 1937), Page 447
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- ¹⁹ Anderson & Glenn: *Report on the historic importance of Historic Gardens & Parks within the boundaries of NKDC that were not included on the English Heritage National Register* (2003)
- ²⁰ Carol Bennett, *E. J. Willson and the Architectural History of Nocton Old Hall*, in *Lincolnshire People and Places: essays in Memory of Terence R. leach (1937-1994)*, edited by Christopher Sturman, (S.L.H.A. Lincoln 1996), Page 39.
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9.0 APPENDICES:

9.1 Appendix A: Report on Urgent Works (20th December 2010).

9.1.1 Site Inspection

We carried out our main inspection of the Hall from high level on Monday, May 10th. This was a joint effort with structural engineer Ed Morton of The Morton Partnership. As a result of our visit and detailed discussions on site, Ed Morton has written to us setting out the areas of concern that were jointly agreed. A copy of his letter is enclosed for you. Whilst we were there we informed the Manager at the Cottage Nursing Home that the inspection was being undertaken. We also had a visit from the Local-Police-Team.

The cherry-picker was able to locate on the hard-standing in front of the Hall on the north side, set a reasonable distance away to avoid a drain run and also to keep well clear of the basement areas. It was able to just reach all of the parts that we wanted to see, although we were not able to get close to the external faces of the Hall, apart from the north side. It was however a very worthwhile exercise, as we were able to get close to the wall heads, and also to the remaining dormer window gables. This has helped us to appreciate the plan form and structural make up of the building. In addition it was possible to carefully handle and test some of the remaining upper areas and as can be seen from the enclosed report from Ed Morton

Whilst on site we were assisted by a couple of contractors who released the Heras fencing to allow access for the cherry-picker, and also cut through swathes of vegetation to allow us to have a clear way around the site.

With great care we also walked through the building to see the extent of collapse of the basement areas. We were also able to access the kitchen wing at ground and first floor level. This however should not be attempted by people unused to dealing with old buildings in a wrecked condition as the floors are not at all safe. The basement area was also inspected.

9.1.2 Comments

As a result of this inspection we have a better understanding of the problems that are posed by the requirement to carry out an Urgent Works Notice on this structure. The condition and form of the building in its current state is such that carrying out many of the proposed urgent works would be more complicated and, therefore, more costly, than previously envisaged. Looking at the list in the English Heritage Report those items which could be carried out without too much difficulty or expense would only be the following:

Kitchen Wing

Trim ivy; treat or remove self seeded woody growths, lop or prune overhanging branches.

Close windows – only where safe access to rooms is available. Many may not close in which case they would need to be boarded up, externally, with vent holes.

Block up openings between Hall and Kitchen (and also access to first floor and basement floor)

The clock has now been removed, by others.

Hospital Wing

Block up basement access.

Main Building

Fell or prune trees in vicinity, treat stumps and self seeded trees and vegetation with herbicide, (subject to ecological advice & COSH Regulations)

Fell or prune trees giving screen to the house. Prune Ivy.

The dead plant on the north face, however, is not in the hopper but has taken root in the masonry. It is in fact alive and well and needs to be cut back and treated with herbicide.

Taking down the remains of the dormer is referred to in Ed Morton's report and our recommendation that the other more intact dormer gable (marked on the attached plan as Dormer 1) is in fact also dangerous and should also, preferably, be taken down.

The difficulties and potential high costs of propping and supporting the gable on the east elevation and the projecting bay on the south side are outlined in the engineer's report. There are also structural problems in supporting the first floor window of the projecting bay over the western entrance. There is also some concern regarding the inbuilt timber plates, in the brickwork. Most of these are badly fire-charred. They can, therefore, form weak 'hinge points', in the masonry.

Propping some of the ground floor openings, and also boarding up these and the various ways into the cellar from under the south terrace should be largely possible to achieve. However if some of the thrill seekers are desperate to gain access, this might increase the risks that they would undergo, in a challenge, to enter – for example by tunnelling in. All scaffolding will require solid metal hoarding to deter unauthorised climbing of the structure.

9.2 Appendix B: Engineer's Reports.

Our ref: EJM/NM/12422-02a

20 December 2010

Mary Anderson
Anderson & Glenn
Mill Tower
Kirton End
BOSTON
Lincs PE20 1NS

Dear Mary

RE: NOCTON HALL, NOCTON, LINCOLNSHIRE – URGENT WORKS

Further to our joint inspection of Nocton Hall on Monday 10 May 2010, when we had the benefit of cherry picker access to inspect high level, there are a number of matters of principal which I think need to be discussed and agreed with both the Local Authority and English Heritage to allow us to proceed.

In essence both our concerns were that the scale of the potential works to achieve that suggested in the English Heritage grant report will need to be extensive and that the cost is very likely to be significant higher than that indicated in the grant report. Looking at more detail at a number of items:

1. Kitchen Wing and Annex

The roofs to the kitchen wing have parapet gutters both to the single storey section to the north end and also the main 3 storey section. The gutters have failed through lack of maintenance, so that there are now areas of decayed gutter substructure, rafter feet etc. It is very difficult to temporary weather these without repair or replacing some of the structure. To facilitate this, careful temporary works would need to be designed to support the structure, then areas stripped, repaired and then a temporary weathering laid.

We did consider an alternative of stripping the lower courses of roof covering and inserting timbers fixed to the rafters and then extending out at higher level over the parapet gutters so that weathering can be formed at this level with the rainwater thrown clear of the building line. The difficulty with this is that the contractor would need safe access to facilitate the works and thus temporary works would again be required to support the structure. Any temporary works in the 3 storey section may well need propping below down to basement level.

A further option would be to accept that much of the structure will need to be replaced and essentially do very little now, allowing the roofs to deteriorate further and slowly collapse in. Alternatively existing roof structure and coverings could be removed and set aside.

A final option would be to provide temporary roofs over these two parts but this will be expensive, particularly based on the premise that the scaffold may have to be purchased.

RE: NOCTON HALL, NOCTON, LINCOLNSHIRE – URGENT WORKS

2. Dormer to North Elevation

There is a more or less intact gable to a dormer remaining to the north elevation. From the cherry picker it was possible to see that the masonry at low level cantilevered slightly outwards on the internal face and was supported previously on the floor structure which is now lost. I was able to rock the gable relatively easily by hand!.

There are only two options here which can be considered I believe. These are either, to leave insitu and accept that the risk that this may fail in high winds and be lost or to carefully dismantle this in a similar manner to that which has been allowed to the dormer to the east elevation.

3. Dormer to East Elevation

This was inspected with close level access from cherry picker which was just able to reach from the front north forecourt. This has already been highlighted for dismantling. Scaffold would be an option for this but will be challenging in terms of methodology. The previous quote from Rise Scaffold appears to include for internal and external scaffold, however the basement is collapsed in this area so I do not think it is possible to scaffold internally without clearance which itself would be costly and have some additional health and safety issues, for instance working below this vulnerable dormer.

An alternative would be to use two people working from cherry picker, similar to the one hired for the inspection with a long reach. This, of course, has limitations on weight in the bucket so it would be necessary to take masonry down from the gable and then with regular trips to ground level to allow the stone to be stored in a suitable place. I suspect that a "round trip" maybe 30 minutes or so, making this a time consuming exercise. A possible variation on this would be to have a second cherry picker externally in the east garden which could be used to take masonry up and down which would speed the process significantly.

However the garden sides will be inevitably soft and will either require a tracked cherry picker suitable for such conditions or for using road plates or trackway or similar extending from the road/track to the south and thus spreading the load appropriately. Obviously having two cherry pickers for this task is doubling up on costs.

4. General Works to Eaves Level

There are significant areas of loose masonry at high level and careful judgement will be needed as to what should be removed and what remains insitu. We felt that removals should be anything which was likely to fall. The cherry picker we used would be able to access the north wall and the north end of the east and west walls and some of the internal walls to the northern side.

This would leave the south side and the south end of the east and west wall from an alternative cherry picker with the same issues of access across soft ground. This is complicated to south side in particular, as the basement, to the building extend out around 5/6m from the base of the building, and which formed a terrace above, thus the reach for the cherry picker is greater.

A further limitation relates to some of the sections of stone that should ideally be removed, which are significant in size and weight and thus there may be difficulties from a manual handling perspective relating to the appropriate regulations. I suspect that the principal east west wall will not be reachable from this form of access at all.

5. East facing Gable at South End with Associated Bay

A scaffolding solution has been suggested to the temporary support of this gable which seems entirely sensible. The outline design prepared by Rise Scaffolding incorporates both external and internal scaffold to provide temporary support. However internal scaffold is complicated by the fact that there is significant rubble on the floor and also that there is a basement below. To provide any internal scaffold it would be necessary to remove the rubble to provide a suitable surface for the scaffold. Back propping below in the cellars is likely to be required, although from what we have seen the cellars are generally robust and well constructed but have collapsed in one area and punctured in another from falling structure.

6. South Elevation Bay

A scaffold proposal has been put forward for the temporary support for this. I indicated that I thought that the cause for the significant damage to the west cheek of this bay relates to the collapse of the large section double cast iron beam arrangement at the second floor level which appears to have sat onto the corner of the bay. When the beams failed, and possibly aggravated by thermal movement through the fire, the beams appear to have pushed the bay out to the west side and dropped and punctured through the vaulted cellar below.

The scaffold proposals will be complicated as there are cellars both internally and externally. Internally significant rubble will need to be removed and with particular care taken around the area where the vault has been punctured. If the position of the scaffold is carefully chosen with associated back propping below as necessary, this should be possible.

I suspect that the indicative scaffold proposal produced could reduce somewhat, as I feel that it is only the western side of the bay that needs supporting rather than the whole bay having now understood the reason for the significant movement to this corner.

An alternative scenario could also be considered, in that all likelihood the masonry to the corner of the bay will need to be dismantled and rebuilt in any repair scheme, thus I feel that we should consider this now to see if it is practical to remove the loose and fragile parts leaving the remaining parts of the bay upstanding. This may then reduce the extent of temporary works required.

7. Access to Cellars

As can be seen from the foregoing access to the cellars will be required to facilitate some of the works. Generally from a structural perspective this should be practical as the structure is so robustly built, although management of when people enter these will need to be carefully arranged to avoid times where structure above is being dismantled. Working in pairs or a permit to work would be sensible.

However there is another consideration in that it would appear that there is asbestos existing in various parts, and some disturbed, therefore there would be a duty to at least have a survey carried out to establish where this exists. To facilitate the survey some safe positions of access will need to be made and appropriate temporary lighting provided.

We did note that there are a series of culverts running within the vaults and these have manholes open in places which would need to be boarded over. Some areas of debris would have to be removed or at least moved to provide safe walkways etc.

As you can see from the above there are a number of significant complications related to the proposed urgent works and which really need to be discussed more fully with English Heritage and the Local Authority before proceeding further. This should not be seen as a conclusive list of all the issues but hopefully covers the main items.

RE: NOCTON HALL, NOCTON, LINCOLNSHIRE – URGENT WORKS

I hope my notes are useful and I look forward to arranging a meeting with the client and English Heritage to discuss this further. I enclose some photographs

Yours sincerely

FOR THE MORTON PARTNERSHIP LIMITED

Edward Morton

EDWARD MORTON

9.3 Appendix C: Ecology Report

**PROTECTED SPECIES SURVEY, NOCTON HALL, NOCTON,
LINCOLNSHIRE**

JULY 2010



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PROTECTED SPECIES SURVEY, NOCTON HALL, NOCTON, LINCOLNSHIRE

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PROTECTED SPECIES SURVEY, NOCTON HALL, NOCTON, LINCOLNSHIRE

1 INTRODUCTION

Helen Scarborough Ecology has been commissioned by Anderson and Glenn Conservation Architects, to undertake a protected species survey of Nocton Hall, Nocton, Lincolnshire. The focus of the survey was the potential presence of bats and birds in the building. The survey was concerned with Nocton Hall only; the additional buildings on site (old hospital site and care home) were not included.

2 LEGAL PROTECTION

2.1 Bats

Studies have shown that populations of bat species in both Britain and continental Europe have seriously declined in recent times as the result of the reduction in habitats providing their insect food and the disturbance to, exclusion from, or total loss of their roosting and hibernation sites.

For these reasons all bats are strictly protected under the Wildlife and Countryside Act 1981 (and as amended); in England and Wales this legislation has been amended and strengthened by the Countryside and Rights of Way (CRoW) Act 2000.

Bats are also protected by European legislation; the EC Habitats Directive is transposed into UK law by The Conservation (Natural Habitats &c.) Regulations 2010 (as amended) – often referred to as 'The Habitat Regs'. Taken together, all this legislation makes it an offence to:

- Deliberately capture (or take), injure or kill a bat
- Intentionally or recklessly disturb a group of bats where the disturbance is likely to significantly affect the ability of the animals to survive, breed, or nurture their young or likely to significantly affect the local distribution or abundance of the species whether in a roost or not.
- Damage or destroy the breeding or resting place of a bat
- Possess a bat (alive or dead) or any part of a bat
- Intentionally or recklessly obstruct access to a bat roost
- Sell (or offer for sale) or exchange bats (alive or dead) or parts of bats

A bat roost is defined as being 'any structure or place that is used for shelter or protection', and since bats regularly move roost site throughout the year, a roost retains such designation whether or not bats are present at the time.

2.2 Birds

Common bird species

All common wild birds are protected under The Wildlife and Countryside Act 1981 (and as amended). Under this legislation it is an offence to:

- kill, injure or take any wild bird
- take, damage or destroy the nest of any wild bird while it is in use or being built
- take or destroy the egg of any wild bird.

Schedule 1 birds

Certain rare breeding birds are listed on Schedule 1 of The Wildlife and Countryside Act 1981 (and as amended). Under this legislation they are afforded the same protection as common wild birds and are also protected against disturbance whilst building a nest or on or near a nest containing eggs/unfledged young.

The species which is listed on Schedule 1 and frequently found using outbuildings and derelict dwellings is the **barn owl** *Tyto alba*. These birds are heavily dependant on rural outbuildings for roost sites and for breeding.

In summary it is an offence to:

- Intentionally kill, injure or take any wild barn owl
- Intentionally take, damage or destroy any wild barn owl nest whilst in use or being constructed (Note: barn owls do not actually construct a nest beyond creating a slight depression in existing debris capable of holding eggs)
- Intentionally take or destroy a wild barn owl egg
- Intentionally or recklessly disturb any wild barn owl whilst constructing a nest or whilst on or near to a nest containing eggs or young
- Intentionally or recklessly disturb the dependant young of wild barn owls

Although not legally protected, the resting perches and non-breeding roost sites which barn owls use as part of their home range are very important to their breeding success and the long term viability of the local populations.

3 SITE DESCRIPTION

Nocton Hall comprises the remains of a Grade 2 listed country house. There have been several properties on the site but the latest residence dates from 1841. The property now comprises a roofless shell following an extensive fire in 2004. A single storey annexe and the kitchen occur on the northern side of the property – these areas were less affected by the fire and there are some slate roof coverings still intact.

No internal furnishings or fabric remains and most of the lead work and rainwater goods have been removed. Vegetation and scrub has started growing on the exposed wall tops and also in and adjacent to the property. There is abundant brick and stone rubble inside the shell of the building. The building is structurally unsound and considered to be very dangerous. The remaining shell comprises ashlar limestone blocks. The windows are all unglazed.



Photograph 1. View of the north-west elevation



Photograph 2.
View of the kitchen building and annexe
(bats were recorded emerging from these buildings)



Photograph 3. View of the western elevation



Photograph 4. View of the eastern elevation

4 METHODS

4.1 Bats

For health and safety reasons it was not possible to access the hall at close range; an internal inspection was not considered safe due to the derelict nature and instability of the building. The safest survey method was considered to be evening emergence surveys using a large team of bat workers.

Evening surveys

Emergence watches were carried out on the 30 July and 3 August 2010. The weather conditions and timings for both survey visits are provided below. On both surveys a team of six surveyors were stationed at strategic locations around the site in order to detect any bats emerging from the hall. Each surveyor was equipped with either a batbox 3 ultrasonic detector or a Petterson D240x time expansion detector. Sample recordings were taken from the Petterson detectors and analysed later using BatSound software.

Table 1 – Survey conditions

Date	Start and end of survey	Temperature	Conditions
30 July 2010	20.45 – 21.30pm	15.8°C	Still with heavy rain showers
3 August 2010	21.00 – 22.45pm	21.1 – 17.8°C	Still, humid and showers earlier in the day

4.2 Birds

Common bird species

The buildings were observed for signs of use by nesting birds, typically adults entering the building carrying nesting/food items or behaving territorially. Due to access restrictions, it was not possible to undertake a full nesting bird survey.

Schedule 1 birds (Barn owls)

The building was observed during the evening surveys in order to detect adult barn owls entering the buildings (possibly carrying food items). In addition a check was made for audible sounds of young barn owls in order to try and establish whether or not the site is used by this species for breeding purposes.

5 RESULTS

5.1 Bats

Evening emergence surveys

A small number of bats were observed to emerge from the hall during the evening surveys. The results are provided in tabular form below and a summary is given in later sections of the report.

Table 2 – Results of survey one (20th July 2010)

Surveyor /position	Results
Garry Steele (north-east of the building)	No bats recorded emerging
Justin Scarborough (north of hall – viewing the kitchen and annexe)	One bat (common pipistrelle) emerged from the roof of the kitchen building at 9.05pm
Natalie Martin (eastern elevation)	Occasional passes (pipistrelle spp.) between 9.00pm and 9.10pm
Rod Strawson (western elevation)	No bats
Terry Bailey(Southern elevation)	One common pipistrelle emerged from this elevation – 8.58pm
Helen Scarborough (south-east elevation)	No bats emerged – two brief common pipistrelle passes 9.04-9.05pm

*Note - survey was abandoned at 9.30pm due to heavy and persistent rain

Table 3 – Results of survey two (3rd August 2010)

Surveyor /position	Results
Garry Steele (north-east of the building)	Three brown long-eared bats emerging from the verge of the kitchen building at approximately 9.20pm Repeat passes from brown long-eared bats, common pipistrelle, soprano pipistrelle throughout the evening. One myotis bat emerged from the northern elevation of the building at approximately 9.45pm
Andrew Chick (north of hall – viewing the kitchen and annexe)	Two common pipistrelles and a brown long-eared bat recorded emerging from the roof of the northern kitchen building between 9.25 and 9.35pm. Repeat passes and feeding activity from common pipistrelles, soprano pipistrelles, brown long-eared bats and a Myotis species. Four barbastelle passes recorded.

James Martin (north-west elevation)	A total of nine common pipistrelle bats recorded emerging from the second floor windows of the north-western elevation from 9.05pm onwards. Regular passes by pipistrelle bats throughout the evening – feeding in the trees close to the hall.
Rod Strawson (western elevation)	No bats recorded emerging from the building. Repeat passes by common and soprano pipistrelles throughout the evening
Terry Bailey(Southern elevation)	No bats recorded emerging. Repeat passes of pipistrelle spp. throughout the evening
Helen Scarborough (south-east elevation)	No bats emerged. Repeat passes by common pipistrelle, soprano pipistrelle, barbastelle (2 passes), brown long-eared and a myotis spp. throughout the evening – near constant bat activity and feeding.

In summary, a total of two bats were recorded emerging from the building during the first survey (all common pipistrelles *Pipistrellus pipistrellus*) and a total of sixteen bats were recorded emerging from the building during the second survey (eleven common pipistrelles, four brown long-eared bats *Plecotus auritus*, and a *Myotis spp.*).

The species recorded emerging from the hall were common pipistrelle, brown-long-eared and a *Myotis spp.* The majority of the bats emerged from the kitchen wing (northern side of the building) where there are areas of roof covering still intact and also through the windows on the north-west elevation.

In addition a large number of bats were recorded flying and feeding in the immediate vicinity of the Hall, particularly during the second survey (3rd August 2010). The species recorded included common pipistrelle, soprano pipistrelle *Pipistrellus pygmaeus*, brown long-eared, barbastelle *Barbastella barbastellus*, and a myotis spp.,

Although a close inspection of the building was not possible, many gaps, cracks and niches in the fabric of the hall were observed (at a distance) during daylight visits. The main hall was considered to offer very high potential for transient roosting in the active season and also for hibernation purposes. The kitchen wing and annexe building still has intact roof coverings and

these areas were considered to offer slightly more sheltered and stable conditions which may be utilised by bats as a breeding site.



Photograph 5.

Area where brown long-eared bats and common pipistrelle bats emerged – area where the roof covering is still intact

5.2 Birds

Common birds

A small number of birds were observed near the building. These included Feral pigeon *Columba livia* (domest.), wren *Troglodytes troglodytes*, robin *Erithacus rubecula*, blackbird *Turdus merula*, magpie *Pica pica*, great tit *Parus major* and barn owl *Tyto alba*.

It was not possible to establish which birds are using the site for breeding but given the abundance of ledges, cracks, and scrub associated with the building and its environs it is considered very likely that a range of common species of bird use the site for nesting purposes.

Schedule 1 species (barn owls)

An adult barn owl was observed close to the building during the evening survey of the 3rd August 2010; however it was not observed entering the building. The northern wing where the

roof is still intact would be a suitable area for use by this species and it is considered that the birds are likely to be present – however the exact status of the site (i.e. whether or not it is used for breeding purposes) cannot be confirmed.

6 DISCUSSION AND RECOMMENDATIONS

6.1 Bats

The results of the surveys indicate that the buildings is used by small numbers of common pipistrelle bats, brown long-eared bats and a *Myotis* spp., for roosting purposes. The numbers of bats recorded during the emergence surveys indicates that the Hall is used as an established place of shelter and protection. It is likely that the building is used all year round. It is not possible to establish whether or not bats breed on site. The abundant gaps, cracks and niches that are visible indicate that the building also has very high potential for use in the winter as a hibernation site.

The number of bats recorded in the vicinity of the building (including barbastelle bats), suggests that a wider range of species may also use the building at various times of year as well. The exposed superficial nature of some of the cracks and gaps would suit barbastelle bats and it is very possible that this species may also use the building at certain times of the year.

Overall, the results of the survey, the assessment of the buildings potential and the abundant species recorded in the vicinity of the building indicate that Nocton hall is an important site for bats and is significant in maintaining local bat populations at a favourable conservation status.

The proposed repair may potentially pose a risk of disturbance to bats whilst they are occupying a roost which would constitute a breach of the legislation protecting bats. Under such circumstances, in order that work may proceed in a lawful manner, a European Protected Species (EPS) licence would need to be issued by Natural England.

EPS licences involve satisfying the licensing authority (Natural England) that there is no satisfactory alternative to the proposed work, and that the work is in the public interest and also that post works the local bat population will remain at a favourable conservation status. A licence application requires the preparation of a full mitigation strategy which demonstrates how this will be achieved.

It is not possible to provide a full mitigation strategy until the final scope of the work is

provided, however the mitigation strategy which would form the basis of a licence application would include the following elements:

1. **Timing** – the work must be timed to commence outside the times when bats are most vulnerable (i.e. outside of the winter hibernation period and summer breeding period) which means work must be timed to commence in spring (late March to early May) or Autumn (September/October).
2. **Further survey work** – this should occur throughout the season (spring to autumn) in order to fully understand how bats are using the building and try and establish whether or not bats are breeding on site
3. **Supervision** – it is likely that any work to the building, whether to stabilise it or renovate it, will require close supervision and a watching brief by a suitably licensed bat ecologist. Niches, gaps and cracks will require careful checking – possibly with the use of an endoscope
4. **Re-instatement/replacement of roosting sites and niches** - it is likely that any works to the building, whether to stabilise it or renovate it, will require the protection/re-instatement of existing roost niches or the creation of suitable roost sites for use by bats post-works
5. **Monitoring** – the success of the mitigation strategy will be monitored for two years post works. This will involve further evening surveys to ensure that the bats remain at a favourable conservation status and that the strategy has been successful

6.2 Birds

Common birds

Since the building and surrounding scrub is very likely to be used for nesting by species of common bird, any work should ideally avoid the active nesting season (March to late August). If work commences during the bird breeding season, a search for nests should be carried out before they begin, and active nests should be protected until the young fledge.

Barns owls (Schedule 1 birds)

The building is used by barn owls – although it was not possible to establish whether or not the owls breed on site. In order to ensure no breach of the legislation which protects these birds a detailed mitigation strategy will be required when the scope the work is known; the basic strategy will comprise appropriate timing of the work and adequate nest box provision. In summary the main elements of a mitigation strategy will comprise the following:

1. Work to commence outside of the breeding period for barn owls i.e. work to commence between September and March.
2. Alternative nest box provision – possible provision could include triangular nest boxes erected on nearby trees or dedicated nest boxes installed within the building itself or within adjacent buildings such as the old hospital site

7 REFERENCES

English Nature. 2004. Bat Mitigation Guidelines. English Nature, Peterborough

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9.4 Appendix D: Tree Preservation Orders

TOWN AND COUNTRY PLANNING ACTS 1971 AND 1984

NOCTON (NOCTON HALL) TREE PRESERVATION ORDER 1985

The North Kesteven District Council (in this order called "the authority") in pursuance of the powers conferred in that behalf by Section 60 of the Town and Country Planning Act 1971 and Section 2 of the Town and Country Planning Act 1984, and subject to the provisions of the Forestry Act 1967, hereby make the following order:-

1. In this order -

"the Act" means the Town and Country Planning Act 1971;

"owner" means the owner in fee simple, either in possession or who has granted a lease or tenancy of which the unexpired portion is less than three years; lessee (including a sub-lessee) or tenant in possession, the unexpired portion of whose lease or tenancy is three years or more, and a mortgagee in possession, and

"the Secretary of State" means the Secretary of State for the Environment.

2. Subject to the provisions of this order and to the exemptions specified in the Second Schedule hereto, no person shall, except with the consent of the authority and in accordance with the conditions, if any, imposed on such consent, cut down, top, lop, uproot, wilfully damage or wilfully destroy or cause or permit the cutting down, topping, lopping or uprooting, wilful damage or wilful destruction of any tree specified in the First Schedule hereto, the position of which trees is defined in the manner indicated in the said First Schedule on the map annexed hereto, which map shall, for the purpose of such definition as aforesaid, prevail where any ambiguity arises between it and the specification in the said First Schedule.

3. An application for consent made to the authority under Article 2 of this order shall be in writing stating the reasons for making the application, and shall by reference if necessary to a plan specify the trees to which the application relates, and the operations for the carrying out of which consent is required.

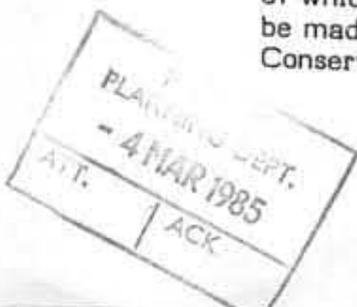
4. (1) Where an application for consent is made to the authority under this order, the authority may grant such consent either unconditionally, or subject to such conditions (including conditions requiring the replacement of any tree by one or more trees on the site or in the immediate vicinity thereof), as the authority may think fit, or may refuse consent;

Provided that where the application relates to any woodland specified in the First Schedule to this order the authority shall grant consent so far as accords with the principles of good forestry, except where, in the opinion of the authority it is necessary in the interests of amenity to maintain the special character of the woodland or the woodland character of the area, and shall not impose conditions on such consent requiring replacement or replanting.

(2) The authority shall keep a register of all applications for consent under this order containing information as to the nature of the application, the decision of the authority thereon, any compensation awarded in consequence of such decision and any directions as to replanting of woodlands, and every such register shall be available for inspection by the public at all reasonable hours.

NOTE:

If it is desired to fell any of the trees included in this order, whether included as trees, groups of trees or woodlands, and the trees are trees for the felling of which a licence is required under the Forestry Act 1967, application should be made not to the authority for consent under this order but to the Conservator of Forests for a licence under that Act (Section 15(5)).



5. Where the authority refuse consent under this order or grant such consent subject to conditions they may when refusing or granting consent certify in respect of any trees for which they are so refusing or granting consent that they are satisfied -

- (a) that the refusal or condition is in the interests of good forestry; or
- (b) in the case of trees other than trees comprised in woodlands, that the trees have an outstanding or special amenity value.

6. (1) Where consent is granted under this order to fell any part of a woodland other than consent for silvicultural thinning then unless -

- (a) such consent is granted for the purpose of enabling development to be carried out in accordance with a permission to develop land under Part III of the Act, or
- (b) the authority with the approval of the Secretary of State dispense with replanting,

the authority shall give to the owner of the land on which that part of the woodland is situated a direction in writing specifying the manner in which and the time within which he shall replant such land and where such a direction is given and the part is felled the owner shall, subject to the provision of this order and Section 175 of the Act, replant the said land in accordance with the direction.

(2) Any direction given under paragraph (1) of this Article may include requirements as to -

- (a) species;
- (b) number of trees per acre;
- (c) the erection and maintenance of fencing necessary for protection of the replanting;
- (d) the preparation of ground, draining, removal of brushwood, lop and top, and
- (e) protective measures against fire.

7. On imposing any condition requiring the replacement of any tree under Article 4 of the order, or on giving a direction under Article 6 of this order with respect to the replanting of woodlands, the authority shall if such condition or direction relates to land in respect of which byelaws made by a river authority or a drainage board restrict or regulate the planting of trees, notify the applicant or the owner of the land, as the case may be, of the existence of such byelaws and that any such condition or direction has effect subject to the requirements of the river authority or drainage board under those byelaws and the condition or direction shall have effect accordingly.

8. The provisions set out in the Third and Fourth Schedules to this order, being respectively the provisions of Part III of the Act and of Section 2 of the Town and Country Planning Act 1984, adapted and modified for the purposes of this order, shall apply in relation thereto.

9. Subject to the provisions of this order, any person who has suffered loss or damage in consequence of any refusal (including revocation or modification) of consent under this order or of any grant of any such consent subject to conditions, shall, if he makes a claim on the authority within the time and in the manner prescribed by this order, be entitled to recover from the authority compensation in respect of such loss or damage.

Provided that no compensation shall be payable in respect of loss or damage suffered by reason of such refusal or grant of consent in the case of any trees the subject of a certificate in accordance with Article 5 of this order.

10. In assessing compensation payable under the last preceding Article account shall be taken of:-

- (a) any compensation or contribution which has been paid whether to the claimant or any other person in respect of the same trees under the terms of this or any other tree preservation order under Section 60 of the Act or under the terms of any Interim Preservation Order made under Section 8 of the Town and Country Planning (Interim Development) Act 1943, or any compensation which has been paid or which could have been claimed under any provision relating to the preservation of trees or protection of woodlands contained in an operative scheme under the Town and Country Planning Act 1931, and
- (b) any injurious affection to any land of the owner which would result from the felling of the trees the subject of the claim.

11. (1) A claim for compensation under this order shall be in writing and shall be made by serving it on the authority, such service to be effected by delivering the claim at the offices of the authority addressed to the Clerk thereof or by sending it by prepaid post so addressed.

(2) The time within which any such claim shall be made as aforesaid shall be a period of twelve months from the date of the decision of the authority, or of the Secretary of State, as the case may be, or where an appeal has been made to the Secretary of State against the decision of the authority, from the date of the decision of the Secretary of State on the appeal.

12. Any question of disputed compensation shall be determined in accordance with the provisions of Section 179 of the Act.

13. The provisions of Section 2 of the Town and Country Planning Act 1984 shall apply to this order and the order shall not take effect until the land on which the trees are situated ceases to be Crown land or becomes subject to a private interest, whichever first occurs. When that event occurs the order shall take effect and continues in force until -

- (a) the expiration of the period of six months beginning with the occurrence of that event, or
- (b) the date on which the order is confirmed, whichever first occurs.

NOTE:

Any person contravening the provisions of this Order by cutting down, uprooting or wilfully destroying a tree, or by wilfully damaging, topping or lopping a tree in such a manner as to be likely to destroy it is guilty of an offence and liable on summary conviction to a fine not exceeding £1000 or twice the sum which appears to the court to be the value of the tree, whichever is the greater, or on indictment to a fine. The penalty for any other contravention of this Order is a fine not exceeding £200 on summary conviction and, in the case of a continuing offence when the contravention is continued after conviction a person is liable on summary conviction to an additional fine not exceeding £5 for every day on which the contravention is so continued.

If a tree other than one to which an Order applies as part of a woodland is removed, uprooted or destroyed in contravention of an Order or is removed, uprooted or destroyed or dies at a time when its cutting down or uprooting is authorised only by Section 60(6) of the Town and Country Planning Act 1971 relating to trees which are dying or dead or have become dangerous, it is the duty of the owner of the land, unless on his application the local planning authority dispense with the requirement, to plant another tree of appropriate size and species at the same place as soon as he reasonably can. Except in emergency, not less than 5 days previous notice of the removal etc., should be given to the authority to enable the latter to decide whether or not to dispense with the requirement.

FIRST SCHEDULE

Trees Specified Individually
(Circled in black on the map)

<u>No. on Map</u>	<u>Description</u>	<u>Situation</u>
T1	Copper Beech	All within the grounds of Nocton Hall, Nocton.
T2	Yew	
T3	Pine	
T4	Pine	
T5	Pine	
T6	Pine	
T7	Pine	
T8	Copper Beech	
T9	Pine	
T10	Yew	
T11	Lime	
T12	Pine	
T13	Pine	
T14	Whitebeam	
T15	Pine	
T16	Pine	
T17	Pine	
T18	Beech	
T19	Pine	
T20	Pine	
T21	Holly	
T22	Cypress	
T23	Pine	
T24	Copper Beech	
T25	Holly	
T26	Holly	
T27	Lime	
T28	Sycamore	
T29	Yew	
T30	Yew	
T31	Yew	
T32	Lime	

No. on Map Description Situation

All within the grounds of Nocton
Hall, Nocton.

T33	Yew	
T34	Yew	
T35	Lime	
T36	Pine	
T37	Holly	
T38	Cypress	
T39	Cypress	
T40	Redwood	
T41	Sycamore	
T42	Sycamore	
T43	Holly	
T44	Horse Chestnut	
T45	Ash	
T46	Copper Beech	
T47	Ash	
T48	Holly	
T49	Sycamore	
T50	Sycamore	
T51	Lime	
T52	Sycamore	
T53	Ash	
T54	Sycamore	
T55	Beech	
T56	Sycamore	
T57	Beech	
T58	Beech	
T59	Ash	
T60	Holly	
T61	Lime	
T62	Red Chestnut	
T63	Ash	
T64	Ash	

<u>No. on Map</u>	<u>Description</u>	<u>Situation</u>
T65	Sycamore	All within the grounds of Nocton Hall, Nocton.
T66	Sycamore	
T67	Redwood	
T68	Sycamore	
T69	Purple Plum	
T70	Yew	
T71	Sycamore	
T72	Sycamore	
T73	Horse Chesnut	
T74	Copper Beech	
T75	Beech	
T76	Sycamore	
T77	Sycamore	
T78	Sycamore	
T79	Sycamore	
T80	Sycamore	
T81	Sycamore	
T82	Sycamore	
T83	Sycamore	
T84	Sycamore	
T85	Sycamore	
T86	Sycamore	
T87	Sycamore	
T88	Sycamore	
T89	Sycamore	
T90	Sycamore	
T91	Sycamore	
T92	Sycamore	
T93	Sycamore	
T94	Sycamore	
T95	Redwood	
T96	Holly	
T97	Yew	
T98	Yew	
T99	Yew	
T100	Sycamore	
T101	Sycamore	
T102	Yew	
T103	Sycamore	

<u>No. on Map</u>	<u>Description</u>	<u>Situation</u>
T104	Sycamore	All within the grounds of Nocton Hall, Nocton.
T105	Ash	
T106	Sycamore	
T107	Sycamore	
T108	Sycamore	
T109	Sycamore	
T110	Sycamore	
T111	Sycamore	
T112	Ash	
T113	Horse Chestnut	
T114	Ash	
T115	Horse Chestnut	
T116	Horse Chestnut	
T117	Horse Chestnut	
T118	Horse Chestnut	
T119	Horse Chestnut	
T120	Ash	
T121	Sycamore	
T122	Horse Chesnut	
T123	Sycamore	
T124	Sycamore	
T125	Sycamore	
T126	Sycamore	
T127	Sycamore	
T128	Sycamore	
T129	Sycamore	
T130	Ash	
T131	Spruce	
T132	Yew	
T133	Sycamore	
T134	Yew	
T135	Yew	
T136	Yew	
T137	Yew	
T138	Yew	
T139	Yew	
T140	Sycamore	
T141	Copper Beech	
T142	Sycamore	

<u>No. on Map</u>	<u>Description</u>	<u>Situation</u>
T143	Sycamore	All within the grounds of Nocton Hall, Nocton.
T144	Larch	
T145	Cypress	
T146	Holly	
T147	Swedish Whitebeam	
T148	Sycamore	
T149	Ash	
T150	Swedish Whitebeam	
T151	Ash	
T152	Sycamore	
T153	Walnut	
T154	Sycamore	
T155	Yew	
T156	Yew	
T157	Yew	
T158	Yew	
T159	Holly	
T160	Lime	
T161	Cypress	
T162	Yellow Buckeye	
T163	Yew	
T164	Ash	
T165	Ash	
T166	Yew	
T167	Holly	
T168	Sycamore	
T169	Ash	
T170	Sycamore	
T171	Yew	
T172	Sycamore	
T173	Redwood	
T174	Cypress	
T175	Cypress	
T176	Sycamore	
T177	Sycamore	
T178	Cypress	
T179	Ash	
T180	Sycamore	
T181	Sycamore	
T182	Sycamore	

<u>No. on Map</u>	<u>Description</u>	<u>Situation</u>
T183	Sycamore	All within the grounds of Nocton Hall, Nocton.
T184	Yew	
T185	Yew	
T186	Yew	
T187	Yew	
T188	Ash	
T189	Sycamore	
T190	Redwood	
T191	Sycamore	
T192	Yew	
T193	Ash	
T194	Sycamore	
T195	Yew	
T196	Sycamore	
T197	Ash	
T198	Sycamore	
T199	Sycamore	
T200	Sycamore	
T201	Yew	
T202	Yew	
T203	Yew	
T204	Yew	
T205	Sycamore	
T206	Cypress	
T207	Ash	
T208	Copper Beech	
T209	Yew	
T210	Cypress	
T211	Cypress	
T212	Sycamore	
T213	Sycamore	
T214	Cypress	
T215	Yew	
T216	Redwood	
T217	Redwood	
T218	Cypress	
T219	Cypress	
T220	Cedar	
T221	Yew	
T222	Cypress	
T223	Redwood	

<u>No. on Map</u>	<u>Description</u>	<u>Situation</u>
T224	Walnut	All within the grounds of Nocton Hall, Nocton.
T225	Redwood	
T226	Redwood	
T227	Cedar	
T228	Redwood	
T229	Purple Plum	
T230	Redwood	
T231	Rowan	
T232	Redwood	
T233	Whitebeam	
T234	Cypress	
T235	Cypress	
T236	Horse Chestnut	
T237	Yew	
T238	Cypress	
T239	Cypress	
T240	Horse Chestnut	
T241	Horse Chestnut	
T242	Horse Chestnut	
T243	Lime	
T244	Lime	
T245	Horse Chestnut	
T246	Lime	
T247	Yew	
T248	Yew	
T249	Yew	
T250	Sycamore	
T251	Horse Chestnut	
T252	Horse Chestnut	
T253	Sycamore	
T254	Horse Chestnut	
T255	Sycamore	
T256	Horse Chestnut	
T257	Lime	
T258	Sycamore	
T259	Lime	
T260	Lime	
T261	Holly	
T262	Sycamore	
T263	Sycamore	
T264	Sycamore	

<u>No. on Map</u>	<u>Description</u>	<u>Situation</u>
T265	Sycamore	All within the grounds of Nocton Hall, Nocton.
T266	Yew	
T267	Ash	
T268	Sycamore	
T269	Yew	
T270	Yew	
T271	Cypress	
T272	Cypress	
T273	Cypress	
T274	Cypress	
T275	Acacia	
T276	Sycamore	
T277	Pine	
T278	Pine	
T279	Cypress	
T280	Cypress	
T281	Cypress	
T282	Cypress	
T283	Pine	
T284	Cypress	
T285	Cypress	
T286	Cypress	
T287	Horse Chestnut	
T288	Yew	
T289	Cypress	
T290	Pine	
T291	Holly	
T292	Holly	
T293	Cypress	
T294	Cypress	
T295	Cypress	
T296	Yew	
T297	Caucasian Maple	
T298	Cypress	
T299	Yew	
T300	Cypress	
T301	Cypress	
T302	Cypress	
T303	Yew	
T304	Lime	
T305	Larch	

<u>No. on Map</u>	<u>Description</u>	<u>Situation</u>
T306	Cedar	All within the grounds of Nocton Hall, Nocton.
T307	Redwood	
T308	Cedar	
T309	Yew	
T310	Cedar	
T311	Cedar	
T312	Monkey Puzzle	
T313	Cedar	
T314	Redwood	
T315	Cedar	
T316	Cedar	
T317	Cypress	
T318	Cypress	
T319	Cypress	
T320	Holly	
T321	Pine	
T322	Cypress	
T323	Red Oak	
T324	Pine	
T325	Caucasian Maple	
T326	Hornbeam	
T327	Sycamore	
T328	Yew	
T329	Holly	
T330	Sycamore	
T331	Sycamore	
T332	Cypress	
T333	Cypress	
T334	Cypress	
T335	Holly	
T336	Cypress	
T337	Ash	
T338	Sycamore	
T339	Sycamore	
T340	Sycamore	
T341	Sycamore	
T342	Sycamore	
T343	Sycamore	
T344	Sycamore	
T345	Sycamore	
T346	Cypress	

<u>No. on Map</u>	<u>Description</u>	<u>Situation</u>
		All within the grounds of Nocton Hall, Nocton.
T347	Cypress	
T348	Cypress	
T349	Cypress	
T350	Cypress	
T351	Cypress	
T352	Holly	
T353	Cypress	
T354	Holly	
T355	Ash	
T356	Sycamore	
T357	Holly	
T358	Sycamore	
T359	Sycamore	
T360	Holly	
T361	Holly	
T362	Holly	
T363	Holly	
T364	Sycamore	
T365	Holly	
T366	Holly	
T367	Sycamore	
T368	Cypress	
T369	Cedar	
T370	Cypress	
T371	Redwood	
T372	Cedar	
T373	Cedar	
T374	Cedar	
T375	Cedar	
T376	Yew	
T377	Yew	
T378	Cedar	
T379	Cedar	
T380	Cypress	
T381	Copper Beech	
T382	Sycamore	
T383	Copper Beech	
T384	Beech	
T385	Oak	
T386	Oak	
T387	Evergreen Oak	

<u>No. on Map</u>	<u>Description</u>	<u>Situation</u>
T388	Ash	All within the grounds of Nocton Hall, Nocton.
T389	Ash	
T390	Ash	
T391	Sycamore	
T392	Sycamore	
T393	Ash	
T394	Ash	
T395	Ash	
T396	Sycamore	
T397	Oak	
T398	Sycamore	
T399	Sycamore	
T400	Sycamore	
T401	Sycamore	
T402	Ash	
T403	Sycamore	
T404	Sycamore	
T405	Sycamore	
T406	Sycamore	
T407	Ash	
T408	Sycamore	
T409	Sycamore	
T410	Sycamore	
T411	Sycamore	
T412	Oak	
T413	Sycamore	
T414	Spruce	
T415	Sycamore	
T416	Sycamore	
T417	Sycamore	
T418	Sycamore	

<u>No. on Map</u>	<u>Description</u>	<u>Situation</u>
		All within the grounds of Nocton Hall, Nocton.

T419	Sycamore
T420	Sycamore
T421	Sycamore
T422	Sycamore
T423	Sycamore
T424	Sycamore
T425	Sycamore
T426	Sycamore
T427	Sycamore
T428	Sycamore
T429	Sycamore
T430	Sycamore
T431	Sycamore
T432	Sycamore
T433	Sycamore
T434	Sycamore
T435	Sycamore
T436	Sycamore
T437	Sycamore
T438	Sycamore
T439	Sycamore
T440	Sycamore
T441	Sycamore
T442	Sycamore
T443	Sycamore
T444	Sycamore
T445	Sycamore
T446	Ash
T447	Sycamore
T448	Hornbeam

Groups of Trees

None

Trees Specified by Reference to an Area
(Within a dotted black line on the map)

<u>No. on Map</u>	<u>Description</u>	<u>Situation</u>
A.1	The several cypress, redwood beech, copper beech, oak, larch, sycamore, holly, yew, ash, spruce, lime and horse chestnut standing in the area numbered A.1 on the map.	In the grounds of Nocton Hall, Nocton.

Woodlands

None

SECOND SCHEDULE

This order shall not apply so as to require the consent of the authority to

- (1) the cutting down of any tree on land which is subject to a forestry dedication covenant where
- (a) any positive covenants on the part of the owner of the land contained in the same deed as the forestry dedication covenant and at the time of the cutting down binding on the then owner of the land are fulfilled,
 - (b) the cutting down is in accordance with a plan of operations approved by the Forestry Commission under such deed.
- (2) the cutting down of any tree which is in accordance with a plan of operations approved by the Forestry Commission under the approved woodlands scheme or other grant scheme under Section 4 of the Forestry Act 1967, except a scheme which applies to a forestry dedication covenant;
- (3) the cutting down, uprooting, topping or lopping of a tree
- (a) in pursuance of the power conferred on the Postmaster General by virtue of Section 5 of the Telegraph (Construction) Act 1908;
 - (b) by or at the request of
 - (i) a statutory undertaker where the land on which the tree is situated is operational land as defined by the Act and either works on such land cannot otherwise be carried out or the cutting down, topping or lopping is for the purpose of securing safety in the operation of the undertaking;
 - (ii) an electricity board within the meaning of the Electricity Act 1947, where such tree obstructs the construction by the Board of any main transmission line or other electric line within the meaning respectively of the Electricity (Supply) Act 1919 and the Electric Lighting Act 1882 or interferes or would interfere with the maintenance or working of any such line,
 - (iii) a river authority established under the Water Resources Act 1963 or a drainage board constituted or treated as having been constituted under the Land Drainage Act 1930 where the tree interferes or would interfere with the exercise of any of the functions of such river authority or drainage board in relation to the maintenance, improvement or construction of water courses or of drainage works; or
 - (iv) the Minister of Defence for the Royal Air Force or the Secretary of State for Trade and Industry where in the opinion of such Minister or Secretary of State the tree obstructs the approach of aircraft to, or their departure from, any aerodrome or hinders the safe and efficient use of aviation or defence technical installations;

- (c) where immediately required for the purpose of carrying out development authorised by a planning permission granted on an application made under Part III of the Act, or deemed to have been so granted for any of the purposes of that part,
- (d) which is a fruit tree cultivated for fruit production growing or standing on land comprised in an orchard or garden.

THIRD SCHEDULE

Provisions of Part III of the Act as adapted and modified to apply to this order.

33. (1) Without prejudice to the following provisions as to the revocation or modification of consents, any consent under the order, including any direction as to replanting given by the authority on the granting of such consent, shall (except in so far as the consent otherwise provides), ensure for the benefit of the land and of all persons for the time being interested therein.

35. (1) The Secretary of State may give directions to the authority requiring applications for consent under the order to be referred to him instead of being dealt with by the authority.

Reference of applications to the Secretary of State.

35. (2) A direction under this section may relate either to a particular application or to applications of a class specified in the direction.

35. (3) Any application in respect of which a direction under this section has effect shall be referred to the Secretary of State accordingly.

35. (4) Where an application for consent under the order is referred to the Secretary of State under this section, the provisions of Articles 4 and 5 of the order shall apply as they apply to an application which fails to be determined by the Authority.

35. (5) Before determining an application referred to him under this section the Secretary of State shall, if either the applicant or the authority so desire, afford to each of them an opportunity of appearing before and being heard by a person appointed by the Secretary of State for the purpose.

35. (6) The decision of the Secretary of State on any application referred to him under this section shall be final.

36. (1) Where an application is made to the authority for consent under the order and that consent is refused by that authority or is granted by them subject to conditions, or where any certificate or direction is given by the authority,

Appeals against decisions.

the applicant, if he is aggrieved by their decision on the application, or by any such certificate, or the person directed if he is aggrieved by the direction, may by notice under this section appeal to the Secretary of State.

36. (2) A notice under this section shall be served in writing within twenty-eight days from the receipt of notification of the decision, certificate or direction, as the case may be, or such longer period as the Secretary of State may allow.

36. (3) Where an appeal is brought under this section from a decision, certificate or direction of the authority, the Secretary of State, subject to the following provisions of this section, may allow or dismiss the appeal, or may reverse or vary any part of the decision of the authority, whether the appeal relates to that part thereof or not, or may cancel any certificate or cancel or vary any direction, and may deal with the application as if it had been made to him in the first instance.

36. (4) Before determining an appeal under this section, the Secretary of State shall, if either the appellant or the authority so desire, afford to each of them an opportunity of appearing before, and being heard by, a person appointed by the Secretary of State for the purpose.

36. (6) The decision of the Secretary of State on any appeal under this section shall be final.

37. Where an application for consent under the order is made to the authority, then unless within two months from the date of receipt of the application or within such extended period as may at any time be agreed upon in writing between the applicant and the authority, the authority either -

- (a) give notice to the applicant of their decision on the application, or
- (b) give notice to him that the application has been referred to the Secretary of State in accordance with directions given under Section 35 above,

the provisions of the last preceding section shall apply in relation to the application as if the consent to which it relates had been refused by the authority, and as if notification of their decision had been received by the applicant at the end of the said period of two months, or at the end of the said extended period, as the case may be.

45. (1) If it appears to the authority that it is expedient to revoke or modify any consent under the order granted on application made under Article 3 of the order, the authority may by order revoke or modify the consent to such extent as they consider expedient.

45. (2) (Subject to the provisions of Section 46 of the Act) an order under this section shall not take effect unless it is confirmed by the Secretary of State, and the Secretary of State may confirm any such order submitted to him either without modification or subject to such modifications as he considers expedient.

Appeal in
default of
decision.

Power to
revoke or
modify consent
under the
order.

45. (3) Where an authority submit an order to the Secretary of State for his confirmation under this section, the authority shall furnish the Secretary of State with a statement of their reason for making the order and shall serve notice together with a copy of the aforesaid statement on the owner and on the occupier of the land affected, and on any other person who in their opinion will be affected by the order, and if within the period of twenty-eight days from the service thereof, any person on whom the notice is served so requires, the Secretary of State, before confirming the order, shall afford to that person, and to the authority, an opportunity of appearing before, and being heard by, a person appointed by the Secretary of State for the purpose.

45. (4) The power conferred by this section to revoke or modify a consent may be exercised at any time before the operations for which consent has been given have been completed:

Provided that the revocation or modification of consent shall not affect so much of those operations as has been previously carried out.

45. (5) Where a notice has been served in accordance with the provisions of sub-section (3) of this section, no operations or further operations as the case may be, in pursuance of the consent granted, shall be carried out pending the decision of the Secretary of State under sub-section (2) of this section.

46. (1) The following provisions shall have effect where the local planning authority have made an order (hereinafter called "such order") under Section 45 above revoking or modifying any consent granted on an application made under a tree preservation order but have not submitted such order to the Secretary of State for confirmation by him and the owner and the occupier of the land and all persons who in the authority's opinion will be affected by such order have notified the authority in writing that they do not object to such order.

Unopposed
revocation
or
modification
of consent.

46. (2) The authority shall advertise the fact that such order has been made and the advertisement shall specify (a) the period (not less than twenty-eight days from the date on which the advertisement first appears) within which persons affected by such order may give notice to the Secretary of State that they wish for an opportunity of appearing before, and being heard by, a person appointed by the Secretary of State for the purpose and (b) the period (not less than 14 days from the expiration of the period referred to in paragraph (a) above) at the expiration of which, if no such notice is given to the Secretary of State, such order may take effect by virtue of this section and without being confirmed by the Secretary of State.

46. (3) The authority shall also serve notices to the same effect on the persons mentioned in sub-section (1) above.

46. (4) The authority shall send a copy of any advertisement published under sub-section (2) above to the Secretary of State, not more than three days after the publication.

46. (5) If within the period referred to in sub-section (2)(a) above no person claiming to be affected by such order has given notice to the Secretary of State as aforesaid and the Secretary of State has not directed that such order be submitted to him for confirmation, such order shall at the expiration of the period referred to in sub-section (2)(b) of this section, take effect by virtue of this section and without being confirmed by the Secretary of State as required by Section 45(2) of the Act.

46. (6) This section does not apply to such order revoking or modifying a consent granted or deemed to have been granted by the Secretary of State under Part III, Part IV or Part V of the Act.

FOURTH SCHEDULE

Extract from the Town and Country Planning Act 1984 as adapted and modified to apply to this order.

Tree Preservation Orders in anticipation of disposal of Crown land

2. (1) A local planning authority may make a tree preservation order in respect of Crown land in which no interest is for the time being held otherwise than by or on behalf of the Crown if they consider it expedient to do so for the purpose of preserving trees or woodlands on the land in the event of its ceasing to be Crown land or becoming subject to a private interest.

(2) No tree preservation order shall be made by virtue of this section except with the consent of the appropriate authority.

(3) A tree preservation order made by virtue of this section shall not take effect until the land in question ceases to be Crown land or becomes subject to a private interest, whichever first occurs.

(4) A tree preservation order made by virtue of this section shall not require confirmation under section 60 of the Act of 1971 or section 58 of the Act of 1972 until after the occurrence of the event by virtue of which it takes effect in accordance with subsection (3) above; and any such order shall by virtue of this subsection continue in force until -

(a) the expiration of the period of six months beginning with the occurrence of that event; or

(b) the date on which the order is confirmed, whichever first occurs.

(5) On the occurrence of any event by virtue of which a tree preservation order takes effect in accordance with subsection (3) above the appropriate authority shall as soon as practicable give to the authority that made the order a notice in writing of the name and address of the person who has become entitled to the land in question or to a private interest in it; and the procedure prescribed under the provisions mentioned in subsection (4) above in connection with the confirmation of the order shall apply as if the order had been made on the date on which that notice is received by the authority.

The Common Seal of the
North Kesteven District Council
was hereunto affixed this

5th day of
January 1985 in the
presence of:-

Seal.

L. Yarn

Chairman

G. J. Coady

Chief Executive

**Map referred to in the
North Kesteven District
NOCTON (Nocton Hall)
Tree Preservation Order 1984.**

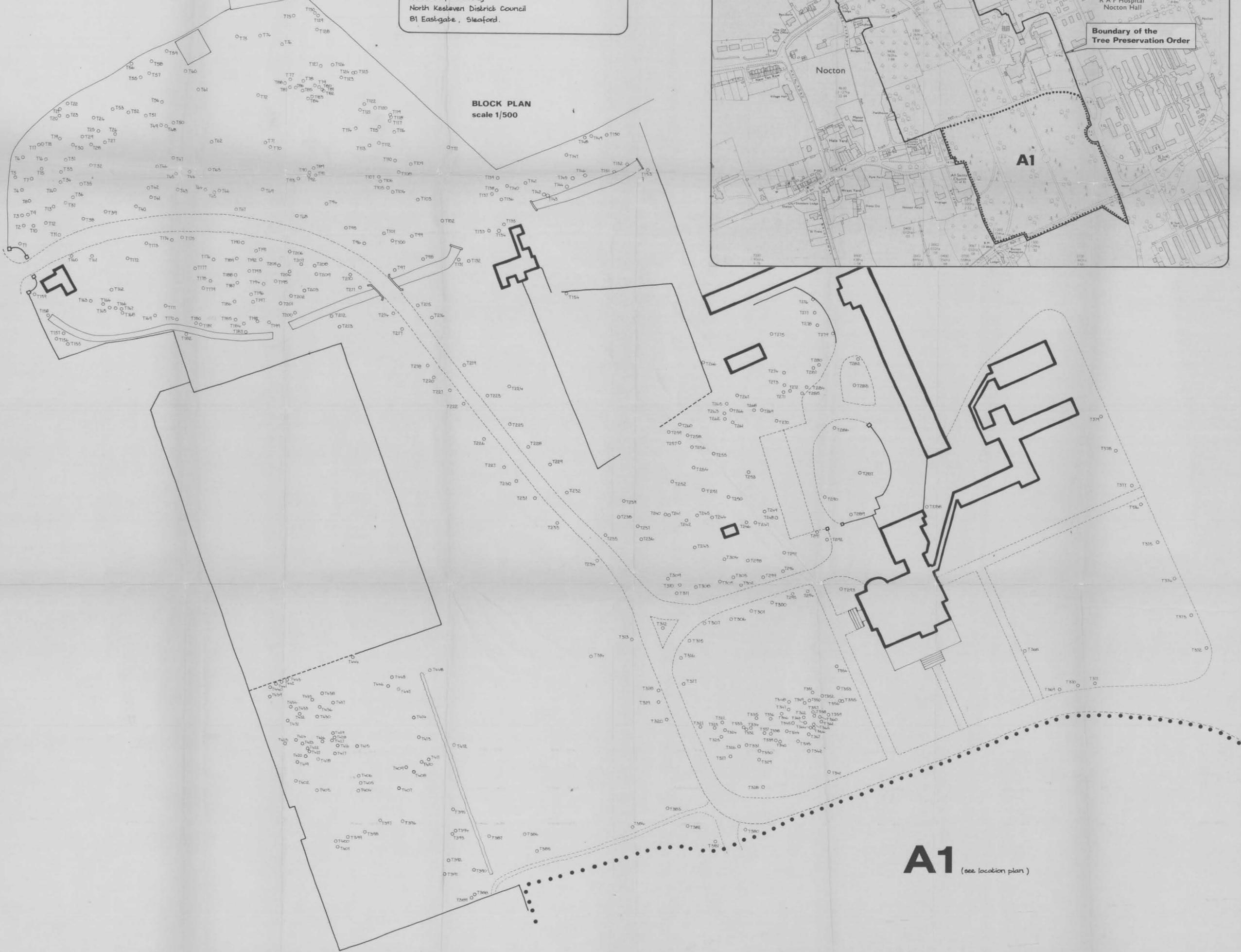
June 1984.



R. A. Day, Dip TP, FRTP
Director of Planning
North Kesteven District Council
81 Eastgate, Sleaford.

BLOCK PLAN
scale 1/500

LOCATION PLAN
scale 1/2500



Boundary of the
Tree Preservation Order

A1

A1 (see location plan)

9.5 Appendix E: Quantity Surveyor's Costings

Works Reference Item	Item Description	Budget (£)	Total Budget (£)
2.1.1	Site inspection	3,000	
2.2.1	Remove vulnerable masonry	5,000	
2.2.2, 2.2.4, 2.2.5	Scaffold periphery; Kentledge	135,000	
2.2.3	Clearance around building	10,000	
2.2.6	Enlarge access to basement	3,000	
2.2.7, 2.2.8	Scaffold tunnel	50,000	
	Remove demolished material	<u>25,000</u>	231,000
2.4.1	Remove high level elements	40,000	
	Support chimney C1	5,000	
Drawing A-164-33	Spot Items	33,000	
Drawing A-164-36	Spot Items	30,000	
Drawing A-164-37	Spot Items	25,000	
Drawing A-164-38	Spot Items	30,000	
Drawing A-164-39	Spot Items	20,000	
Drawing A-164-40	Spot Items	15,000	
	External Works	<u>30,000</u>	<u>228,000</u>
			459,000
	Preliminaries (15%)	69,000	
	Overheads/profit (5%)	<u>23,000</u>	<u>92,000</u>
			551,000
	Consultants & Fees (18%)		99,000
	Archaeology		100,000
	Contingency		<u>60,000</u>
			810,000
	Developers Profit (15%)		122,000
	TOTAL		<u><u>932,000</u></u>

Works Reference Item	Item Description	Budget (£)	Total Budget (£)
2.1.1	Site inspection	3,000	
2.2.1	Remove vulnerable masonry	5,000	
2.2.2, 2.2.4, 2.2.5	Scaffold periphery; Kentledge	135,000	
2.2.3	Clearance around building	10,000	
2.2.6	Enlarge access to basement	3,000	
2.2.7, 2.2.8	Scaffold tunnel	50,000	
	Remove demolished material	<u>25,000</u>	231,000
Drawing A-164-33	Spot Items	33,000	
Drawing A-164-36	Spot Items	30,000	
Drawing A-164-37	Spot Items	25,000	
Drawing A-164-38	Spot Items	30,000	
Drawing A-164-39	Spot Items	20,000	
Drawing A-164-40	Spot Items	<u>15,000</u>	153,000
2.5.3	Ground floor slab	70,000	
2.5.4	First and second floor structures	120,000	
2.5.5	Internal walls, ceilings, doors, electrics, heating, kitchen, bathrooms, stairs and the like (1900m2 GIFA)	2,850,000	
2.5.6	Roof structure and coverings (660m2 plan area)	396,000	
2.5.7	Spot Items - rebuild walls	177,000	
	Spot Items - windows/doors	<u>196,000</u>	3,809,000
		c/fwd.	4,193,000

	b/fwd.	4,193,000
External works	75,000	
Services	60,000	135,000
		<u>4,328,000</u>
Preliminaries (20%)	866,000	
Overheads/profit (5%)	216,000	1,082,000
		<u>5,410,000</u>
Consultants & Fees (15%)		812,000
Archaeology		100,000
Contingency		500,000
		<u>6,822,000</u>
Developers Profit (15%)		1,023,000
		<u>7,845,000</u>
	TOTAL	<u><u>7,845,000</u></u>

Works Reference Item	Item Description	Budget (£)	Total Budget (£)
2.1.1	Site inspection	3,000	
2.2.1	Remove vulnerable masonry	5,000	
2.2.2, 2.2.4, 2.2.5	Scaffold periphery; Kentledge	135,000	
2.2.3	Clearance around building	10,000	
2.2.6	Enlarge access to basement	3,000	
2.2.7, 2.2.8	Scaffold tunnel	50,000	
	Remove demolished material	<u>25,000</u>	231,000
2.4.1	Remove high level elements	40,000	
	Support chimney C1	5,000	
Drawing A-164-103	Spot Items	33,000	
Drawing A-164-106	Spot Items	30,000	
Drawing A-164-107	Spot Items	25,000	
Drawing A-164-108	Spot Items	25,000	
Drawing A-164-109	Spot Items	30,000	
Drawing A-164-110	Spot Items	15,000	
2.7.3	Service wing refurbishment (GIFA 270m2)	405,000	
2.5.6	Roof structure and coverings (200m2 plan area)	120,000	
	Work to ground floor	40,000	
	Spot Items - windows/doors	30,000	
	Work to vault	100,000	
	Services	20,000	
	External Works	<u>50,000</u>	<u>968,000</u>
		c/fwd.	1,199,000
		b/fwd.	1,199,000

Preliminaries (15%)	180,000	
Overheads/profit (5%)	<u>60,000</u>	<u>240,000</u>
		1,439,000
Consultants & Fees (18%)		259,000
Archaeology		100,000
Contingency		<u>250,000</u>
		2,048,000
Developers Profit (15%)		307,000
	TOTAL	<u><u>2,355,000</u></u>

Works Reference Item	Item Description	Budget (£)	Total Budget (£)
2.1.1	Site inspection	3,000	
2.2.1	Remove vulnerable masonry	5,000	
2.2.2, 2.2.4, 2.2.5	Scaffold periphery; Kentledge	120,000	
2.2.3	Clearance around building	10,000	
2.2.6	Enlarge access to basement	3,000	
2.2.7, 2.2.8	Scaffold tunnel	50,000	
	Remove demolished material	<u>25,000</u>	216,000
2.7.1	Partial demolition	120,000	
2.7.2	Ground floor slab	70,000	
2.7.3	Kitchen wing refurbishment (GIFA 270m2)	405,000	
Drawing A-164-98	Sedum green roof (160m2)	100,000	
	Work to vault area	100,000	
	External wall repairs	20,000	
	External Works	30,000	
	Services	<u>20,000</u>	865,000
			<u>1,081,000</u>
	Preliminaries (15%)	162,000	
	Overheads/profit (5%)	<u>54,000</u>	216,000
			<u>1,297,000</u>
	Consultants & Fees (15%)		195,000
	Archaeology		100,000
	Contingency		<u>100,000</u>
			<u>1,692,000</u>
	Developers Profit (15%)		254,000
	TOTAL		<u><u>1,946,000</u></u>

Works Reference Item	Item Description	Budget (£)	Total Budget (£)
2.3.5	Full demolition	100,000	
	Topsoil and grass	<u>20,000</u>	120,000
	Preliminaries (15%)	18,000	
	Overheads/profit (5%)	<u>6,000</u>	24,000
	Consultants		20,000
	Archaeology		100,000
	Contingency		<u>20,000</u>
			284,000
	Developers Profit (15%)		43,000
		TOTAL	<u><u>327,000</u></u>

**9.6 Appendix F:
Urgent Works & Indicative Costs.**

Nocton Hall, Lincolnshire
Urgent Works to Grade II listed building

Summary of Present Position following inspections to date.

1. Due to the serious and unstable condition of the building we cannot guarantee that any works undertaken under an Urgent Works Notice will be all that is necessary. It is quite possible that other parts may fail during the year following the serving of the Notice.
2. The interiors of the building – both the roofed part and the unroofed part cannot be safely accessed in order to carry out any works. The interior of the unroofed part is unsafe for the following reasons:
 - i. Extensive plant growth making it difficult see and negotiate around the hazards.
 - ii. Lots of loose masonry on the wall heads both external and internal walls.
 - iii. Some areas of the basement have fallen in as a result of the collapse of the roof and these areas are becoming less easily identifiable as the growth continues.
 - iv. It is also likely that the surviving pipes and plant in the basement area are lagged with asbestos. The extent of this is uncertain and the type of asbestos is unknown. This needs to be established before any works take place and before the work is put to tender.

Within the roofed range the floors are unsafe and there are large areas of lath and plaster above waiting to drop.

3. It is difficult to quantify the effects of the fire on the masonry. Stone in particular reacts badly to heat and there may micro fractures that are not easily visible in the masonry. The effects of weathering and frosts since the damage occurred will have also taken its toll.
4. There have been stone thefts in addition causing further destabilisation. Since our visit in May there has been further collapse and stone loss.
5. The interior of the building cannot be accessed and the erection of any external scaffolding will require the contractors to survey the basement areas under the terrace in order to ensure that they can be certain of placing supports on the masonry structure. Of those works which can be defined as most urgent in order to prevent significant collapse and also to save the constituent parts of these original features the following works on the English Heritage list could be carried out with some difficulty. Very stringent risk assessments would be required from any contractor undertaking this work. There could be no work undertaken in strong winds or slippery conditions which could well add on-costs to the contract.

North Elevation

22. (take down remains of dormer on north side) This item is more extensive than when viewed from ground. The adjacent dormer is also unstable. These would both need to be removed using robust temporary access scaffolding. A hoist/ lifting equipment or cherry picker would be required for the handling of the stonework elements to wherever these are to be stored and located needs to be considered.

East Elevation

23. (take down remains of dormer on east side) Temporary scaffold access to take down east elevation dormer. A hoist/lifting equipment or cherry picker would be required and handling the stone to wherever it is to be stored and located.

24 - 28. Projecting bay window and gable above and associated works- structural support scaffold. This structural support would require design by scaffolding engineer and some loose masonry is also likely to need to be removed. We anticipate that the top half of the bay will need to be taken down and a tower scaffold erected to surround the bay and support the gable above. Hoist/cherry picker as above.

South Elevation

30- 34 (Support and works to tower on south side, plus framing out other windows on this side) The tower cannot be supported in the way suggested partly due to the basement. Also the failed internal corner and side wall on the west side of the tower cannot be supported as all that is left here is the outer stonework skin. The internal corner on the west side will need to be taken down in a raking fashion with scaffolding providing access and support to the retained part of the tower. It may be difficult to frame out the windows at first and ground floor level adjacent to this corner due to risks of falling masonry and the support scaffolding will possibly interfere with this.

West Elevation

35 36- (Oriel window and adjacent windows.) The north window of the oriel cannot be propped as such as it is projecting oriel and the iron beam that originally sat on two iron stanchions has dropped out. This oriel will have to be supported by a scaffold prop off the base of the steps below and then back propped below as the stair fly over the dry area. An access scaffold will also be required to frame out the windows to the oriel and the adjacent first floor windows.

6. The following works in the English Heritage Schedule cannot be undertaken without further intervention than that originally anticipated:

Kitchen wing annexe

1. Weatherproofing two storey kitchen wing roofs or putting on guttering.
2. Clearing gutters and rainwater goods.
3. replacing missing sections of guttering.
4. Test unblock drains as necessary. (most of these appear to be at basement level)
5. Trim ivy and treat or remove self seeded woody growths.
6. Lop overhanging branches – only where these can be accessed safely from exterior.
7. Close windows
9. Block up any openings linking hall to kitchen wing.
11. Take down small area of displaced masonry at rear. (This seems to have already fallen or been removed)
- 12 Remove clock and working. (already stolen)

Main Building

14. Remove loose material and self seeded plant growths from wall heads.
15. Localised consolidation of wall heads.
16. removal of heating pipes. Etc.
17. Fell or prune – part only.
18. Power spray self seeded trees in building – not safe due to potential spray drift.
20. Prune ivy growth – not whilst wall heads are unsafe.

North facing elevation

21. Not whilst wall heads are unsafe – could involve more work as this is growing out of the masonry.
7. In order to carry out the works listed above it would be necessary to erect a scaffold around the whole of the building in order to safely remove loose masonry and stabilise the wall head. Having achieved that it would then be possible to access the edges of the interior to remove rubble and plant growth and eventually get scaffolding access in to the cross walls to remove high level rubble and consolidate these.
8. For the slate roofed wing, an option to provide it with some protection is to erect a scaffold around it with a temporary roof over. Carrying out any other urgent works on this range is difficult because of the unknown condition of the underlying roof and floor structures.

Conclusions

- i. It may be necessary to prioritise the works so that the larger elements which could fall and cause further significant damage are either removed or given temporary support.
- ii. A further phase would then be to erect full scaffolding, remove loose material and consolidate external wall heads.
- iii. This would be followed by a further phase to remove plant growth rubble and then remove loose material and consolidate wall heads of the cross walls.
- iv. The slate roofed block could be provided with a temporary roof with any one of the above.
- v. Whichever route is undertaken it needs to be recognised that this building is in a very serious state of disrepair, is highly unsafe and a considerable danger to anyone who enters the building. Making it less dangerous is in itself going to be a highly risky and difficult process.
- vi. Approximate costs of these options are included on the spread sheet attached.

Anderson and Glenn.
June 23rd 2010.

Nocton Hall urgent works		
EH nos	Option One - External urgent support works only	estimated costs
	Scaffolding costs	
	Access scaffolding for Removal of dormer remains and full dormer on north side, scaffold hire	1395
	Hoarding	350
	Support scaffold for oriel purchase	2,500
	Access scaffold to carry out higher level work to oriel	1000
	hoarding	250
	back propping	250
	Support scaffold for projecting bay, purchase	16,000
	Hoarding	500
	Support and scaffold for bay window purchase	12000
	Access element	1000
	Hoarding	500
	Removal of dormer on east side, hire	1495
	Hoarding	250
		37490
	Main contractors profit and attendance 15%	5623.5
8	Secure entrance to kitchen wing	250
10	Remove wheeled bin etc	100
13	Block entrance from hospital link	250
17	Fell trees safely accessible	300
19	remove trees from wider area	425
20	prune ivy growth where safe to do so	200
22	take down remains of dormer north side from scaffold	250
	take down full dormer on north side, from scaffold	750
23	take down full dormer on east side, from scaffold	750
25	frame out ground floor window	250
26	prop first floor window	150
27	take down decorative stonework	500
30	dismantle corner of projecting bay from scaffold	1,500
31	frame out openings on ground floor east window	450
32	frame out ground and first floor windows of tower	600
33	frame out lower openings of first floor window to west of projecting bay - requires further scaffold or hire of soft ground cherry picker	1025
34	Prop two ground floor windows	200
35	frame out openings to oriel window and bay	750
37	photographic schedule	200
38	combustible material	100
39	masonry found during works	100
40	record details	100
41	provide secure store	1000
42	allow 2 weeks hire of plant (cherry picker/and or hoist)	5000

		58313.5
	Allow for welfare, CDM, setting up and security costs	5,800
	Allow for contingency	5,800
	Budget costs	69913.5
	Phase Two	
	Outer wall heads	
	External scaffolding	20730
	Contractors profit and attendance	3109
14	Removal of loose material and woody growths	4,500
15	Consolidation of wall heads	7,500
21	Remove plant growing behind hopper	500
	Further tree lopping and ivy removal	500
	Clear debris and vegetation internally to allow for scaffold to cross walls	5,000
	reerect scaffolding to bothsides of cross walls	15,000
	Contractors profit and attendance	2,250
	Removal of loose material and woody growths	3,000
	Consolidation of wall heads	4,000
		66089
	Allow for welfare, CDM, setting up and security costs	6,600
	Allow for contingency	6,600
	Budget costs	79289
	Phase Three	
	Temporary roof over kitchen wing	20160
	weekly hire after six weeks for 48 weeks	24192
		44352
	Total of all three phases	193554.5
	(Excluding VAT and Fees)	



SOUTH LINCOLNSHIRE SCAFFOLDING LIMITED

Email: enquiries@sls-scaffolding.co.uk Web: www.sls-scaffolding.co.uk

Nocton Hall Nocton

making £45 /m.

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MELTON: Asfordby Business Park, St. Bartholomew's Way, Melton Mowbray, Leicestershire LE14 3JL **Tel:** 01664 813 913 **Paul:** 07817 636494

Company Reg. No. Cardiff 3520516 VAT Reg. No. 706 4610 55



Contents

Description of sections

Section 1 description, photographs and prices

Section 2 description, photograph and prices

Section 3 description and prices

Schematic birds eye view plan A-164-02

16th June 2010

Nocton Hall **Nocton**

Report for scaffolding requirements

We have been asked by Anderson and Glenn to provide prices for three separate scaffolding schemes at Nocton Hall. The hall having suffered fire damage earthquake damage and weathering is in an extremely unstable and very dangerous condition. The amount of debris currently on the ground floor makes it virtually impossible to assess the condition or the size of the cellars and underground areas which could prove problematical when erecting scaffolding. It will be necessary to use various unit beams in the construction of the base section of some of the scaffolds to ensure spanning of underground areas.

Section 1

Although some areas seem to be relatively stable there are five areas of immediate concern for which we have been asked to price as urgent work.

Section 2

A temporary roof to the areas I, J and K on plan reference A-164-02. This part of the building still has an existing slate roof and the scheme would be to slow further deterioration.

Section 3

Independent scaffold around the complete perimeter of the building to make safe any loose stones and to be able assess the general condition of the structure.

Section 1

Photo of Dormers

Reference: Room E on plan A-164-02

This involves an independent scaffold being erected to enable the stone dormer and the remains of the adjoining dormer to be dismantled and the stone work made safe. The scaffold will have to have a buttress incorporated with it due to the inability of fixing to the structure of the building. Once the stone work has been made safe it would be envisaged that this scaffold will be dismantled and removed from site.

£1395.00 plus VAT This price is for a six week hire period after which a weekly charge of **£93.10 plus VAT** will be incurred.

Photo of Dormer Ref: Room E Plan - A-164-02.

①



Section 1

Photo of Oriel

Reference: Room C on plan A-164-02

Due to the lintel supporting the Oriel having disappeared it will be necessary to provide a dead shore support underneath the base of the protrusion. As there is a void area underneath the steps it will be necessary to dead shore this area as well.

£1050.00 plus VAT This price is for a six week hire period after which a weekly charge of **£52.50 plus VAT** will be incurred.

We have been asked to provide a sale price for the purchase of the scaffolding after it has been erected. Due to the upward fluctuations of both the steel and timber prices I do not feel that at this stage we can give an accurate price until we know exactly what materials will be needed and what the time schedule will be before erection. As an estimate at this stage we believe the purchase costs will be around **£2500.00 plus VAT**



Section 1

Photo of Projecting Bay

Reference: Room A on plan A-164-02

This is an extremely dangerous part of the building that appears to be deteriorating rapidly. I have included a sketch plan of the scaffold structure that I would like to build in order to support both inside and outside walls. However this will have to be confirmed with a scaffold engineer in order to work out the various loadings. Concern is raised for the safety of the scaffolders when erecting the scaffold next to the building. In previous instances when scaffolding dangerous structures we have built the scaffold away from the building progressively placing beams in order to stabilize the walls. This then enables a scaffold to be erected next to the wall. This scaffold is further complicated due to the network of cellars which will require the use of unit beams in the construction of the base.

£12962.00 plus VAT This price is for a six week hire period after which a weekly charge of **£195.75 plus VAT** will be incurred.

We have been asked to provide a sale price for the purchase of the scaffolding after it has been erected. Due to the upward fluctuations of both the steel and timber prices I do not feel that at this stage we can give an accurate price until we know exactly what materials will be needed and what the time schedule will be before erection. As an estimate at this stage we believe the purchase costs will be around **£16000.00 plus VAT**

Photo of projecting bay Ref Room A Plan A-164-02.



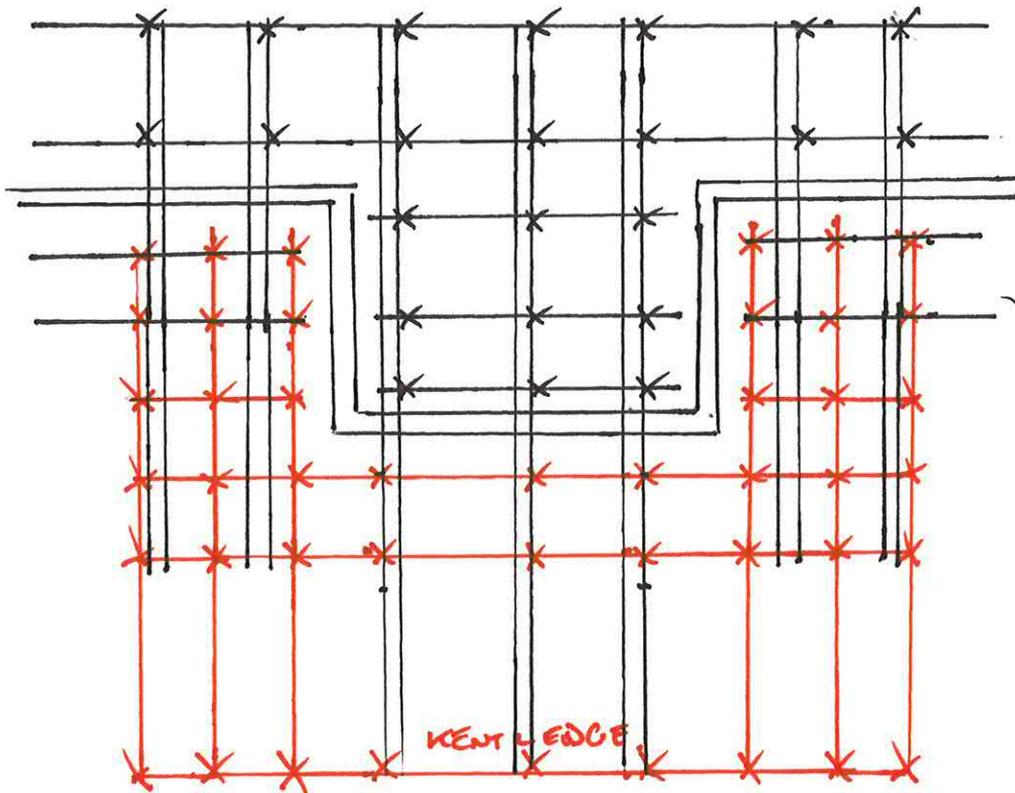
PROPOSED AREA OF SCAFFOLD FOR SUPPORT.







PLAN VIEW OF PROJECTING BAY
 PROPOSED PLAN OF SCAFFOLD TO SUPPORT
 CRACKED CORNER.



BLACK LINES ARE LINES OF UNIT BEAMS.
 RED LINES ARE TRADITIONAL SCAFFOLD
 RED CROSSES STANDARDS TO THE FLOOR
 BLACK CROSSES STANDARDS PUNCHED UP FROM THE BEAMS
 NO STANDARDS DOWN TO THE GROUND INTERNALLY.

Section 1

Photo of Bay Window

Reference: Room A on plan A-164-02

This again is also an extremely dangerous area which again needs a raking shore scaffold with beams on the inner face of the gable in order to give some restraint to the gable. It would not be possible to scaffold from the ground inside the building so similar to the Projecting Bay unit beams will be fixed through the windows and the scaffolding built up from these projecting beams. In order for the scaffold to support the gable a meeting with a scaffold engineer and a structural engineer will be needed on site.

£8952.00 plus VAT This price is for a six week hire period after which a weekly charge of **£142.00 plus VAT** will be incurred.

We have been asked to provide a sale price for the purchase of the scaffolding after it has been erected. Due to the upward fluctuations of both the steel and timber prices I do not feel that at this stage we can give an accurate price until we know exactly what materials will be needed and what the time schedule will be before erection. As an estimate at this stage we believe the purchase costs will be around **£12000.00 plus VAT**

Photo of Bay window
Room A
Plan A-164-02,

AREA OF SCAFFOLD
FOR SUPPORT.



Section 1

Photo of Dormer

Reference: Room F on plan A-164-02

This involves an independent scaffold being erected to enable the stone dormer to be dismantled and the stone work made safe. The scaffold will have to have a buttress incorporated with it due to the inability of fixing to the structure of the building. Once the stone work has been made safe it would be envisaged that this scaffold will be dismantled and removed from site.

£1495.00 plus VAT This price is for a six week hire period after which a weekly charge of **£98.10 plus VAT** will be incurred.

Photo of Dormer Ref: Room F Plan A-164-02.

5



Section 2

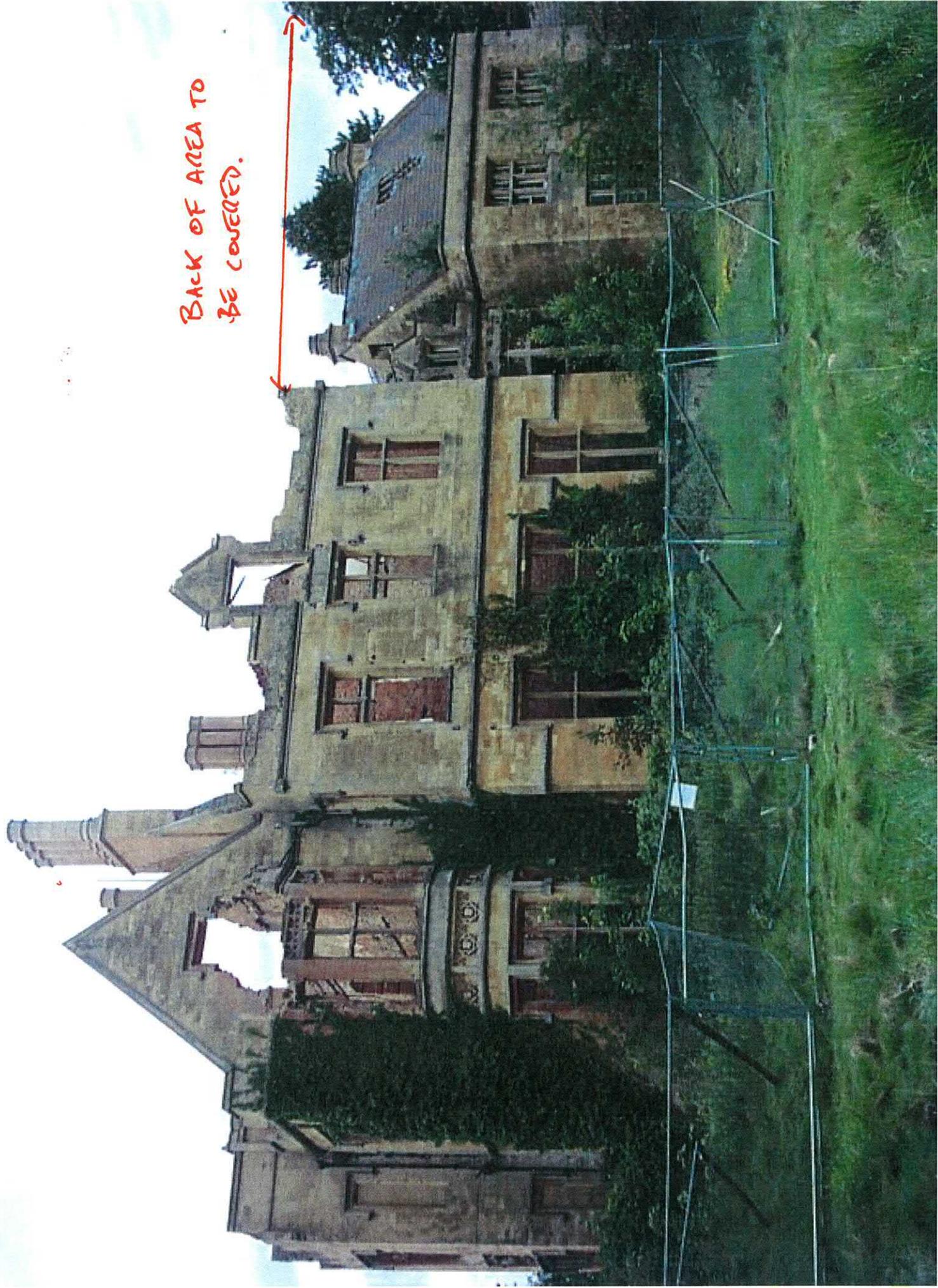
A temporary roof to the areas I, J and K on plan reference A-164-02. This part of the building still has an existing slate roof and the scheme would be to slow further deterioration. The temporary roof will be erected as an independent scaffold all around the building with unit beams spanning the roof from front to back then a corrugated metal sheeting roof covering with suitable buttresses and kentledge on as directed by the scaffold designer. It will have monarflex plastic sheeting down to the eaves level in order to make the scaffold as water tight as possible.

£20160.00 plus VAT This price is for a six week hire period after which a weekly charge of **£504.00 plus VAT** will be incurred.

AREA TO BE COVERED.



BACK OF AREA TO
BE COVERED.



Section 3

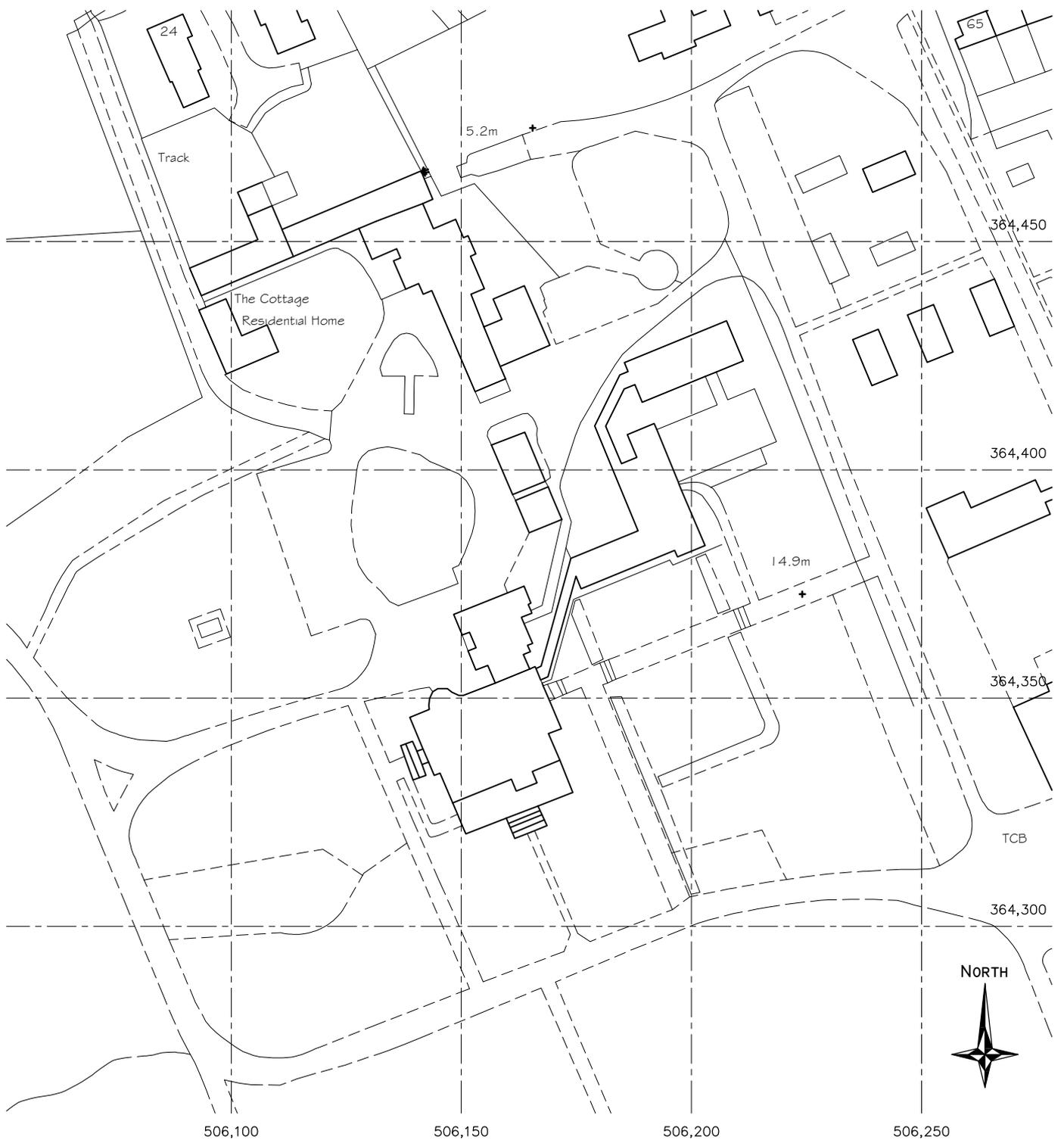
Independent scaffold around the complete perimeter of the building to make safe any loose stones and to be able assess the general condition of the structure. In our opinion it will be necessary to erect the emergency works to the Oriel, the Projecting Bay and Bay Window as detailed in Section 1 before an independent would be erected around the rest of the building. It will be necessary to buttress this scaffold as it will not be possible to tie to the existing structure.

£20730.00 plus VAT - This price is for a six week hire period after which a weekly charge of **£523.00 plus VAT** will be incurred.

10.0 A&G ARCHITECTURAL PLANS

10.1 As Existing Drawings

A-164-01	Site Plan
A-164-02	Schematic Birds Eye View - Nocton Hall
A-164-03	As Existing Ground Floor Plan
A-164-04	As Existing First Floor Plan
A-164-05	As Existing Second Floor Plan
A-164-06	As Existing Elevation 1
A-164-07	As Existing Elevation 2
A-164-08	As Existing Elevation 3
A-164-09	As Existing Elevation 4 & 5
A-164-10	As Existing Elevation 6
A-164-11	Former Roof Plan

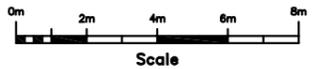


NOCTON HALL : LOCATION PLAN Scale 1:1250

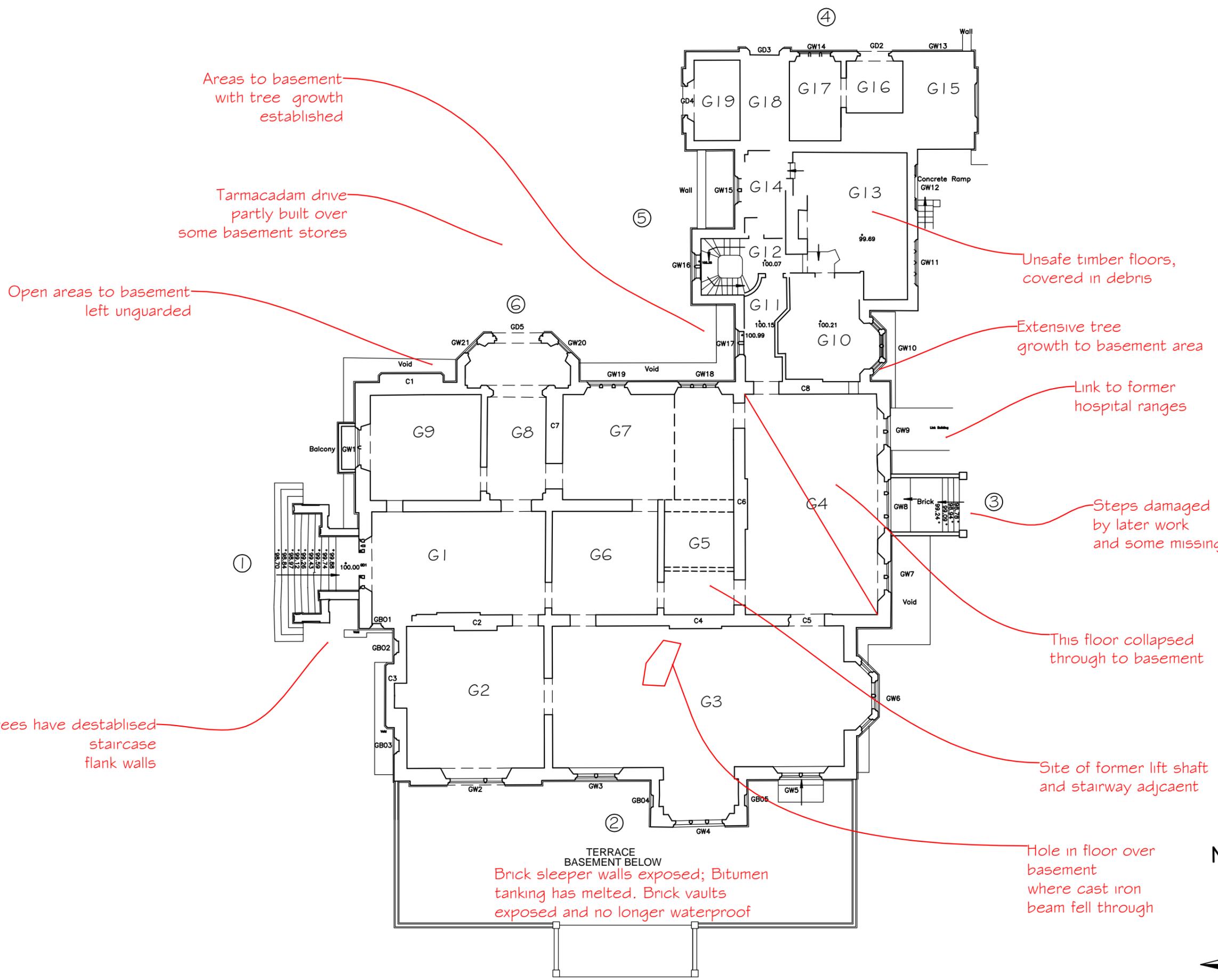
Drg. Ref : A/164/01

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NOTES :
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NOTE; Interior full of vegetation and rubble; unsafe to enter and carry out detailed survey



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Client **North Kesteven District Council**

Job Title
Nocton Hall Feasibility Study

Drawing Title
As Existing Ground Floor Plan

Scale **1:100 @ A1**
 Date **June 2011** Drawn by

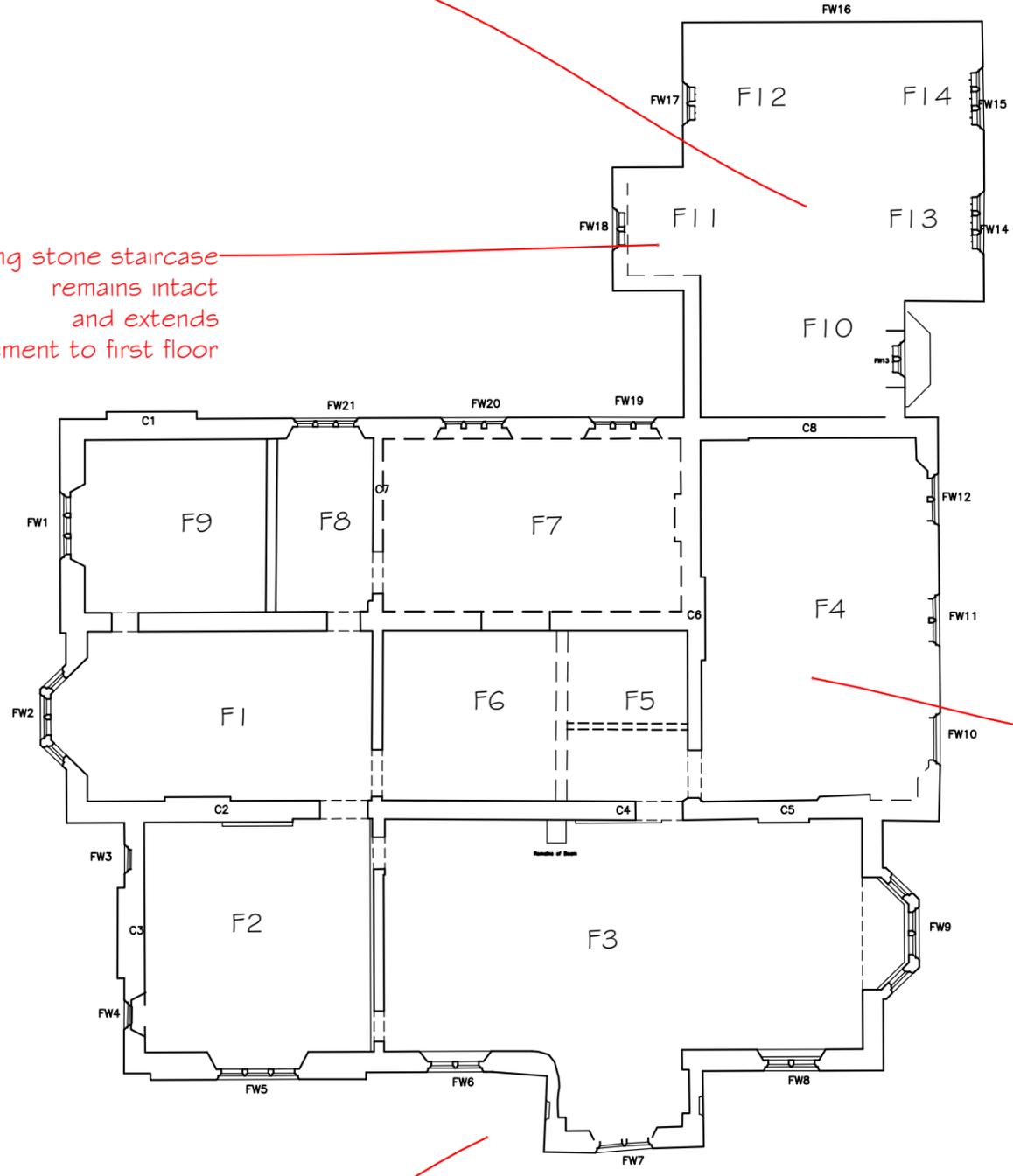
Drg. No. **A-164-03** Rev.



Timber floors remain but are unsafe and covered in debris

Turning stone staircase remains intact and extends from basement to first floor

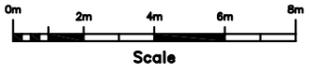
Unstable projection



No floors remain in main areas of house, Walls exposed mostly have brick facings and charred timber wall plates



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NOTE; FIRST FLOOR INACCESSIBLE

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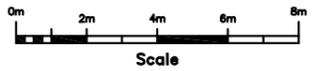
Drawing Title
As Existing First Floor Plan

Scale **1:100 @ A1**

Date **June 2011** Drawn by

Drng. No. A-164-04	Rev.
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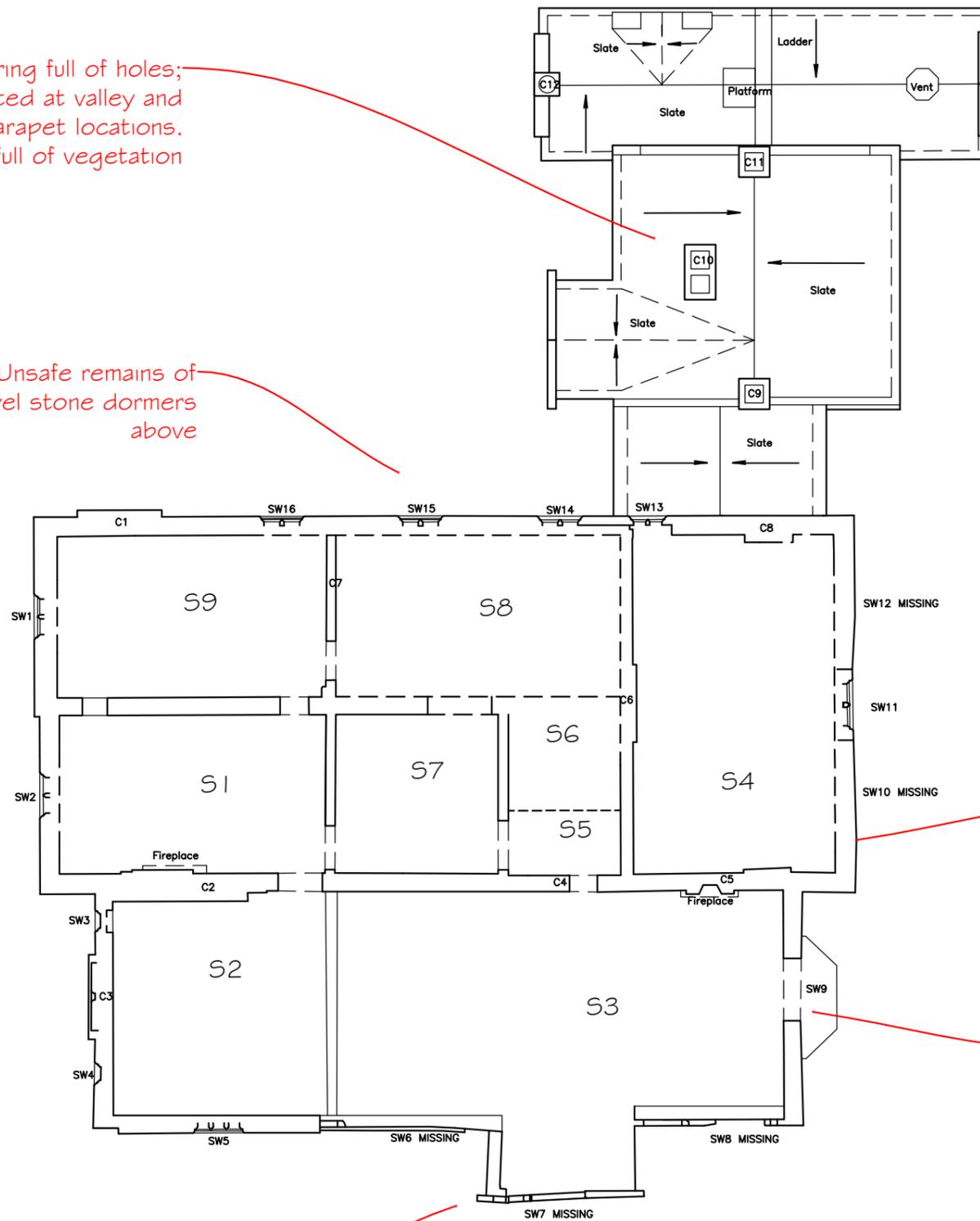
NOTES :
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NOTE; SECOND FLOOR INACCESSIBLE

Slate roof covering full of holes; timbers rotted at valley and parapet locations. Gutters full of vegetation

Unsafe remains of attic level stone dormers above



All exposed wall heads covered in loose rubble, slates and pieces of copings

Weak gable

Unstable projection

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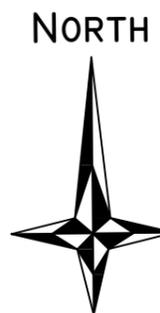
Job Title
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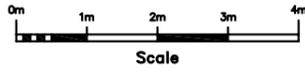
Drawing Title
As Existing Second Floor Plan

Scale **1:100 @ A1**

Date **June 2011** Drawn by

Drg. No. **A-164-05** Rev.



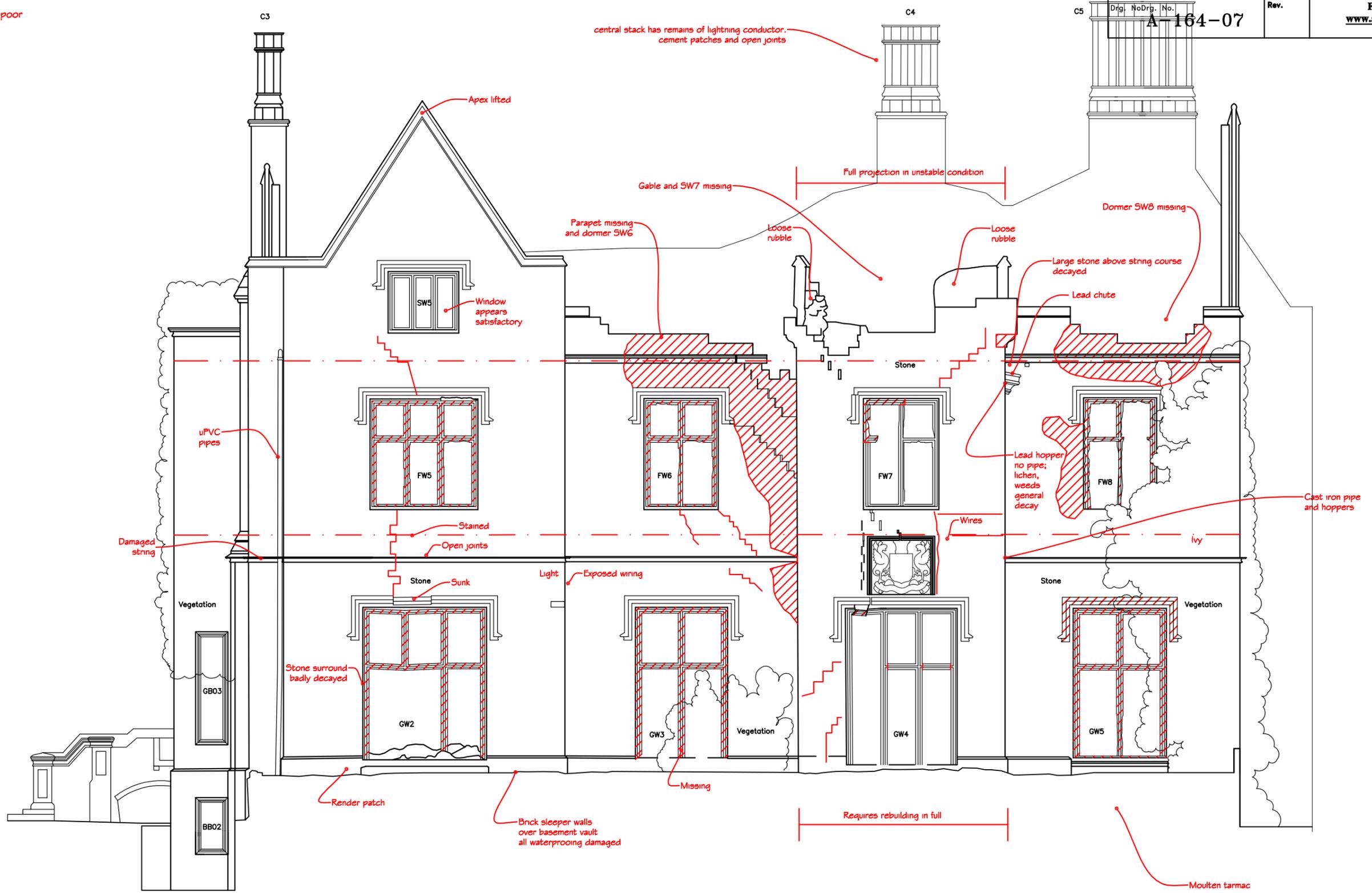


Decayed Stone

All stonework to windows on this elevation apart from SW5 is in poor condition

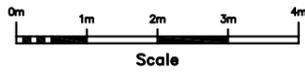
Client	North Kesteven District Council	© Copyright
Job Title	Nocton Hall Feasibility Study	
Drawing Title	As Existing Elevation 2	
Scale	1:50@A1, 1:100@A3	
Date	June 2011	Drawn by MEA
Drig. No	Drig. No	Rev.
A-164-07		

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96.00m Above Site Datum

ELEVATION 2 (SOUTH FACING)



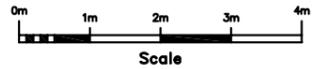
Decayed Stone

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Drawing Title	As Existing Elevation 3		
Scale	1:50@A1, 1:100@A3	Tel : 01205 724047	
Date	June 2011	Drawn by	
Org. No.	A-164-08	Rev.	Fax : 01205 723792 www.andersonandglenn.com

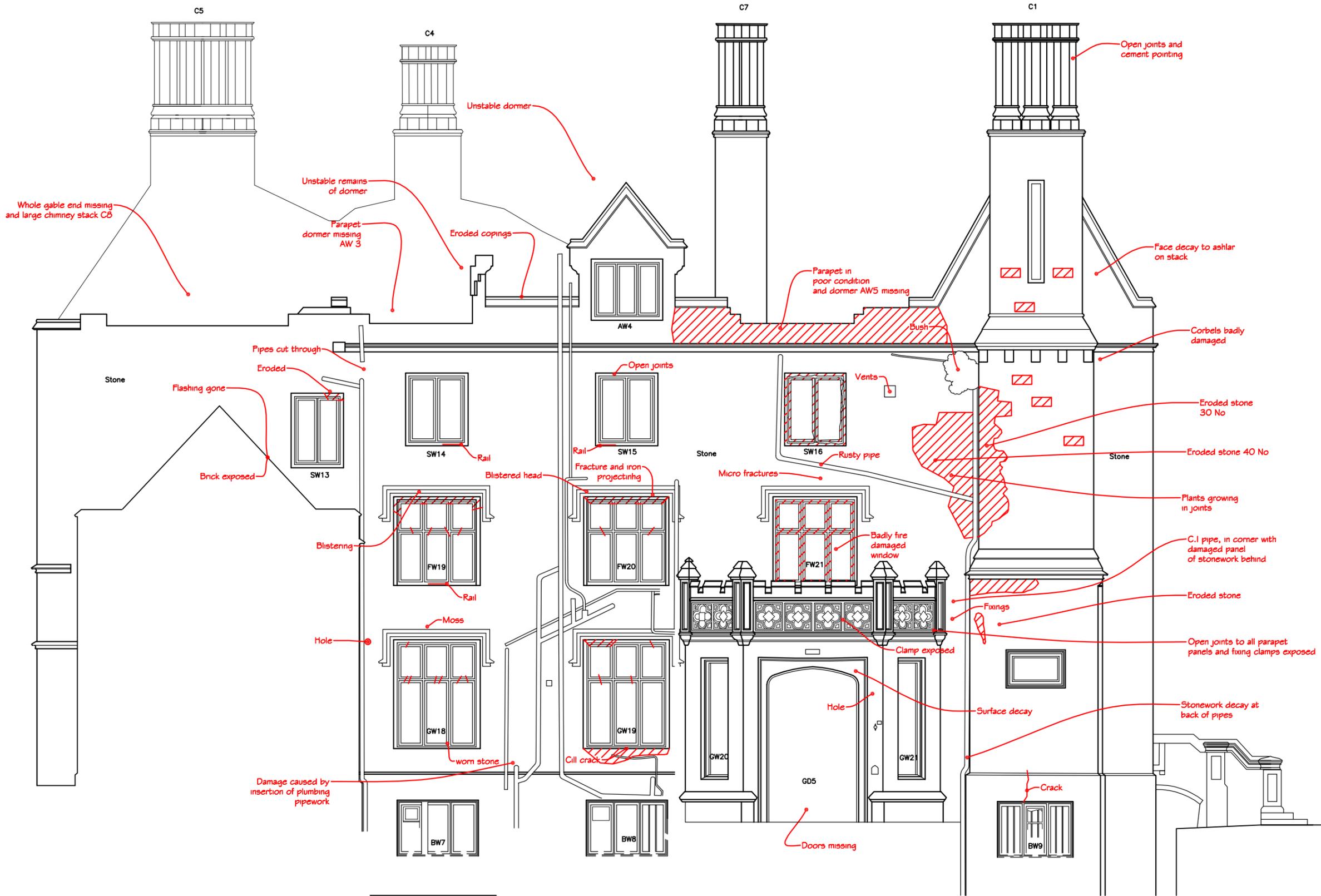


ELEVATION 3 (EAST FACING)

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 Decayed Stone



96.00m Above Site Datum

ELEVATION 6 (NORTH FACING)

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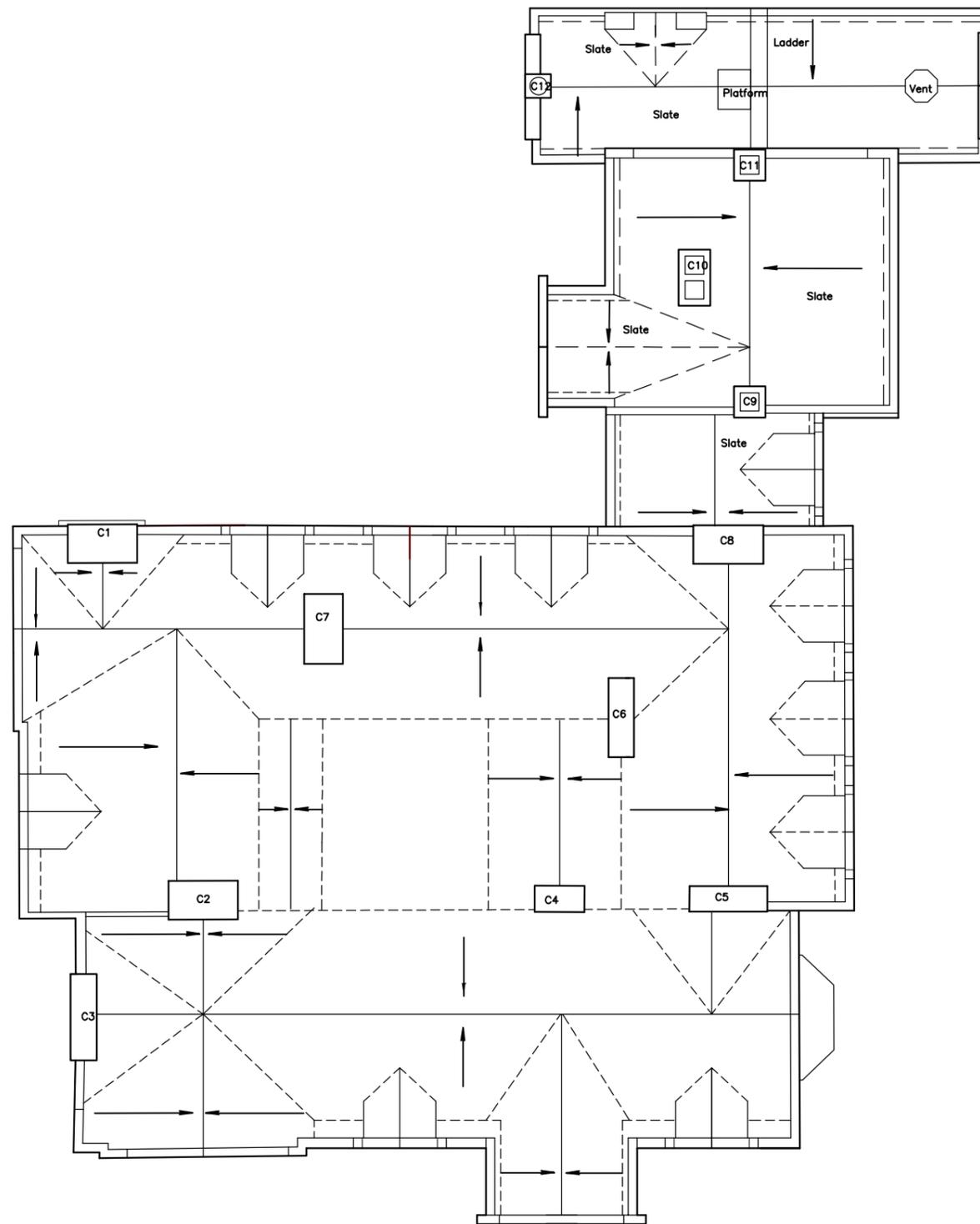
Job Title **Nocton Hall Feasibility Study**

Drawing Title
As Existing Elevation 6

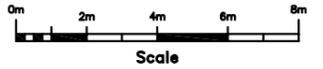
Scale **1:50 @ A1**

Date **June 2011** Drawn by

Drg. No. **A-164-10** Rev.



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BASED ON SITE SURVEY PLAN BY JAMES BRENNAN ASSOCIATES IN MARCH 2011.

ROOF FORM ASSESSED FROM EARLIER PHOTOGRAPHS AND EVIDENCE REMAINING ON SITE. EXACT FORM OF INNER ROOF AREA NOT CERTAIN

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Client **North Kesteven District Council**

Job Title
Nocton Hall Feasibility Study

Drawing Title
Former Roof Plan

Scale **1:100 @ A1**

Date **June 2011** Drawn by

Drg. No. **A-164-11** Rev.



10.2 Proposal Drawings

- A-164-33 Repair As Ruin Ground Floor Plan
- A-164-34 Repair As Ruin First Floor Plan
- A-164-35 Repair As Ruin Second Floor Plan
- A-164-36 Repair As Ruin Elevation 1
- A-164-37 Repair As Ruin Elevation 2
- A-164-38 Repair As Ruin Elevation 3
- A-164-39 Repair As Ruin Elevation 4 & 5
- A-164-40 Repair As Ruin Elevation 6

- A-164-53 Full Reinstatement Ground Floor Plan
- A-164-54 Full Reinstatement First Floor Plan
- A-164-55 Full Reinstatement Second Floor Plan
- A-164-56 Full Reinstatement Elevation 1
- A-164-57 Full Reinstatement Elevation 2
- A-164-58 Full Reinstatement Elevation 3
- A-164-59 Full Reinstatement Elevation 4 & 5
- A-164-60 Full Reinstatement Elevation 6
- A-164-61 Full Reinstatement Roof Plan

- A-164-73 Partial Demolition Ground Floor Plan
- A-164-74 Partial Demolition First Floor Plan
- A-164-75 Partial Demolition Second Floor Plan
- A-164-76 Partial Demolition Elevation 1
- A-164-77 Partial Demolition Elevation 2
- A-164-78 Partial Demolition Elevation 3
- A-164-79 Partial Demolition Elevation 4 & 5
- A-164-80 Partial Demolition Elevation 6

- A-164-93 Partial Demolition Ground Floor Plan
- A-164-94 Partial Demolition First Floor Plan
- A-164-95 Partial Demolition Second Floor Plan
- A-164-98 Partial Demolition Elevation 3

A-164-99 Partial Demolition Elevation 4 & 5

A-164-100 Partial Demolition Elevation 6

A-164-103 Repair as Ruin & Service Wing Conversion Ground Floor Plan

A-164-104 Repair as Ruin & Service Wing Conversion First Floor Plan

A-164-105 Repair as Ruin & Service Wing Conversion Second Floor Plan

A-164-106 Repair as Ruin & Service Wing Conversion Elevation 1

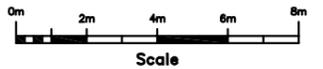
A-164-107 Repair as Ruin & Service Wing Conversion Elevation 2

A-164-108 Repair as Ruin & Service Wing Conversion Elevation 3

A-164-109 Repair as Ruin & Service Wing Conversion Elevation 4 & 5

A-164-110 Repair as Ruin & Service Wing Conversion Elevation 6

NOTES :
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Existing stairs either removed or railed off to prevent access to basement or non existent first floor

Guarding to all basement areas

Later link blocks to be removed

Take out unsafe timber floors, and all debris

Steps up to this area removed

Stout doors to be considered to prevent access except when viewing is available

All open areas to basement to be guarded to prevent falls

All rubble removed from basement and ground floors. Access into this area restricted by bars across door openings to prevent falls into void below

All internal walls and partitions made safe

Cast new section of floor where damaged by beam collapse

Unsafe projection rebuilt

Basement terrace possibly covered with waterproofed concrete slab & paved

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Client **North Kesteven District Council**

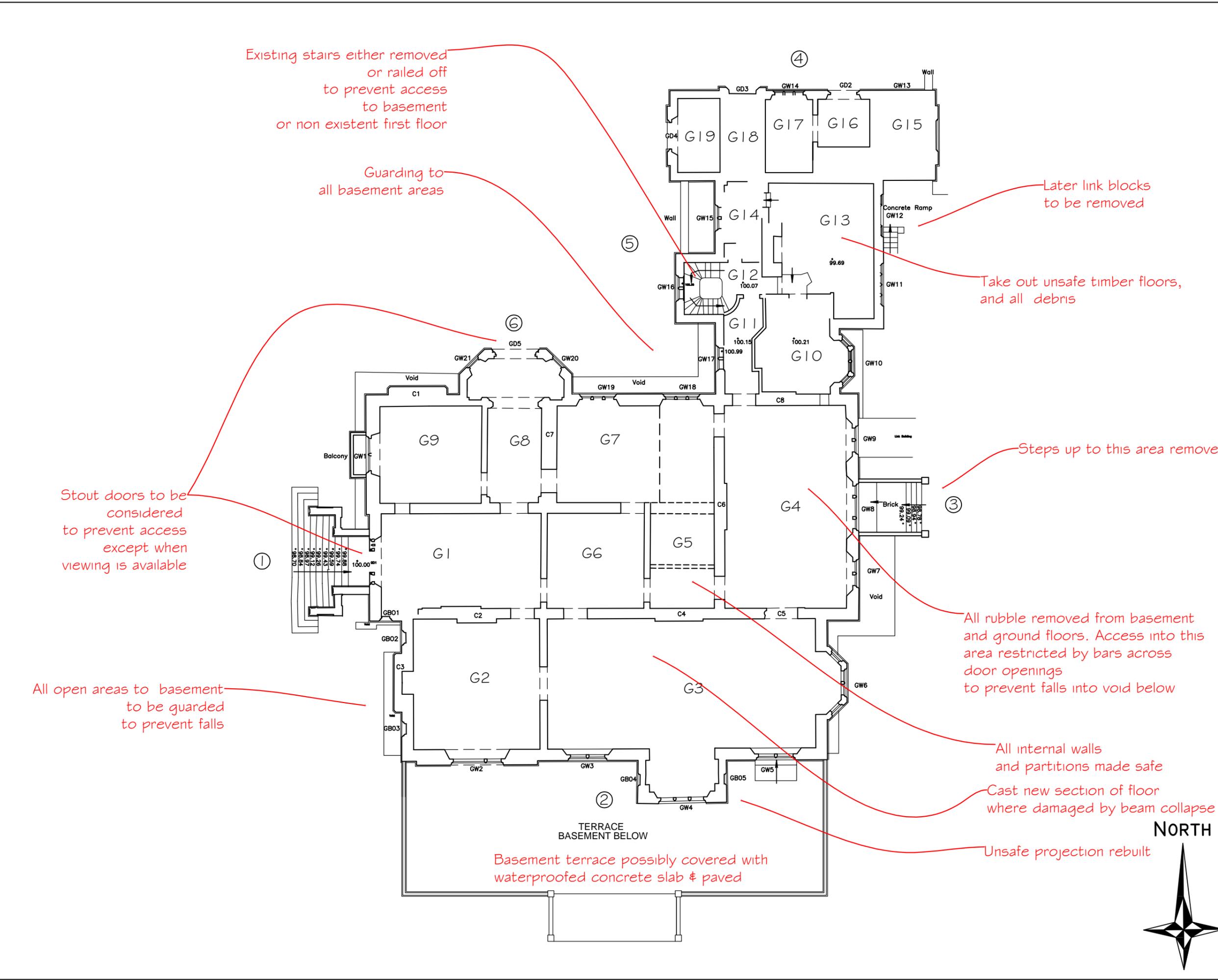
Job Title **Nocton Hall Feasibility Study**

Drawing Title
Repair as Ruin Ground Floor Plan

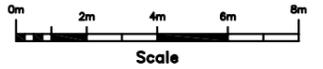
Scale **1:100 @ A1**

Date **June 2011** Drawn by

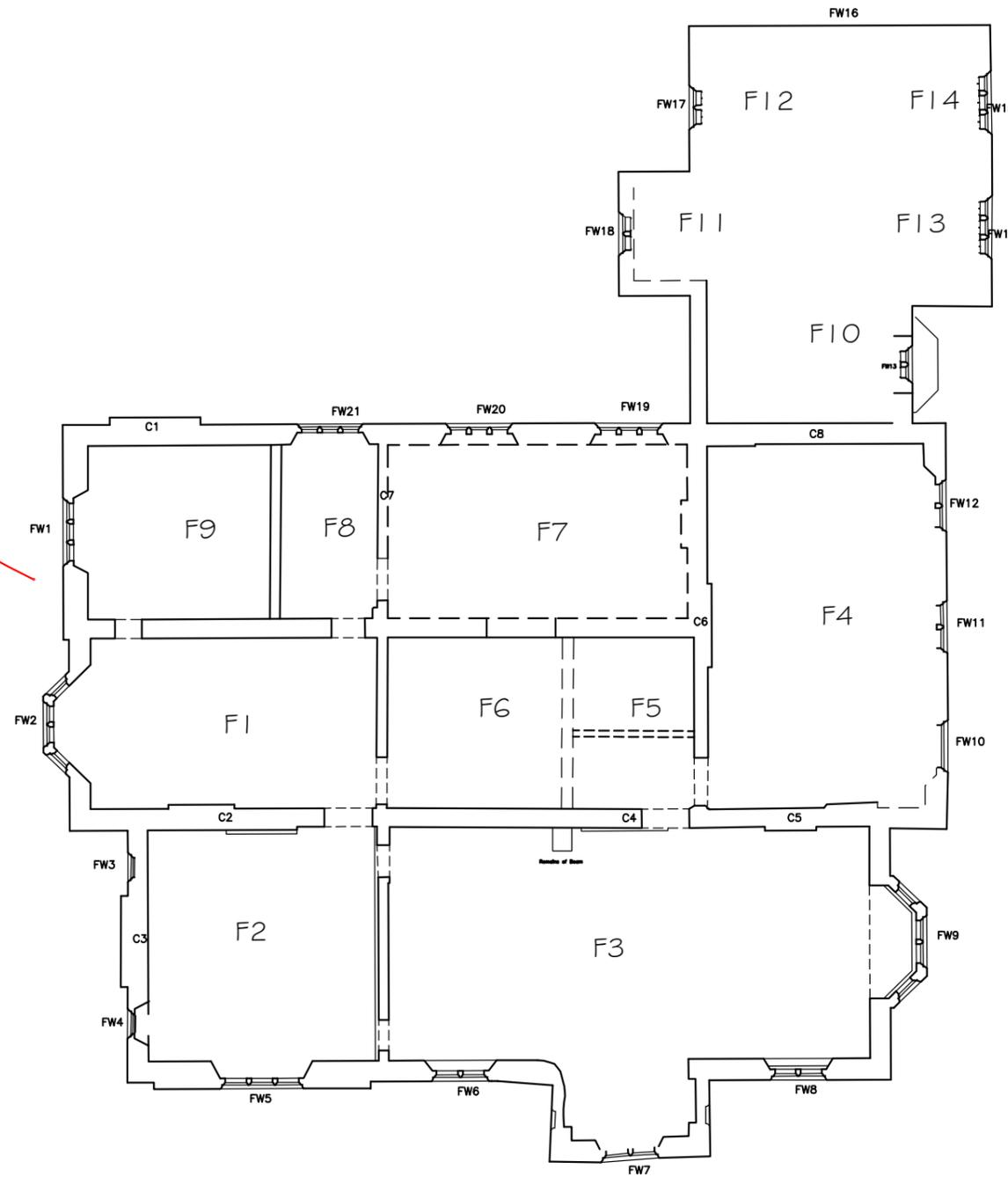
Drg. No. **A-164-33** Rev.



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Walls generally reduced in height to top of first floor storey height



Partly collapsed projection rebuilt to first floor wall head



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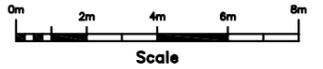
Job Title
Nocton Hall Feasibility Study

Drawing Title
Repair as Ruin First Floor Plan

Scale **1:100 @ A1**
 Date **June 2011** Drawn by

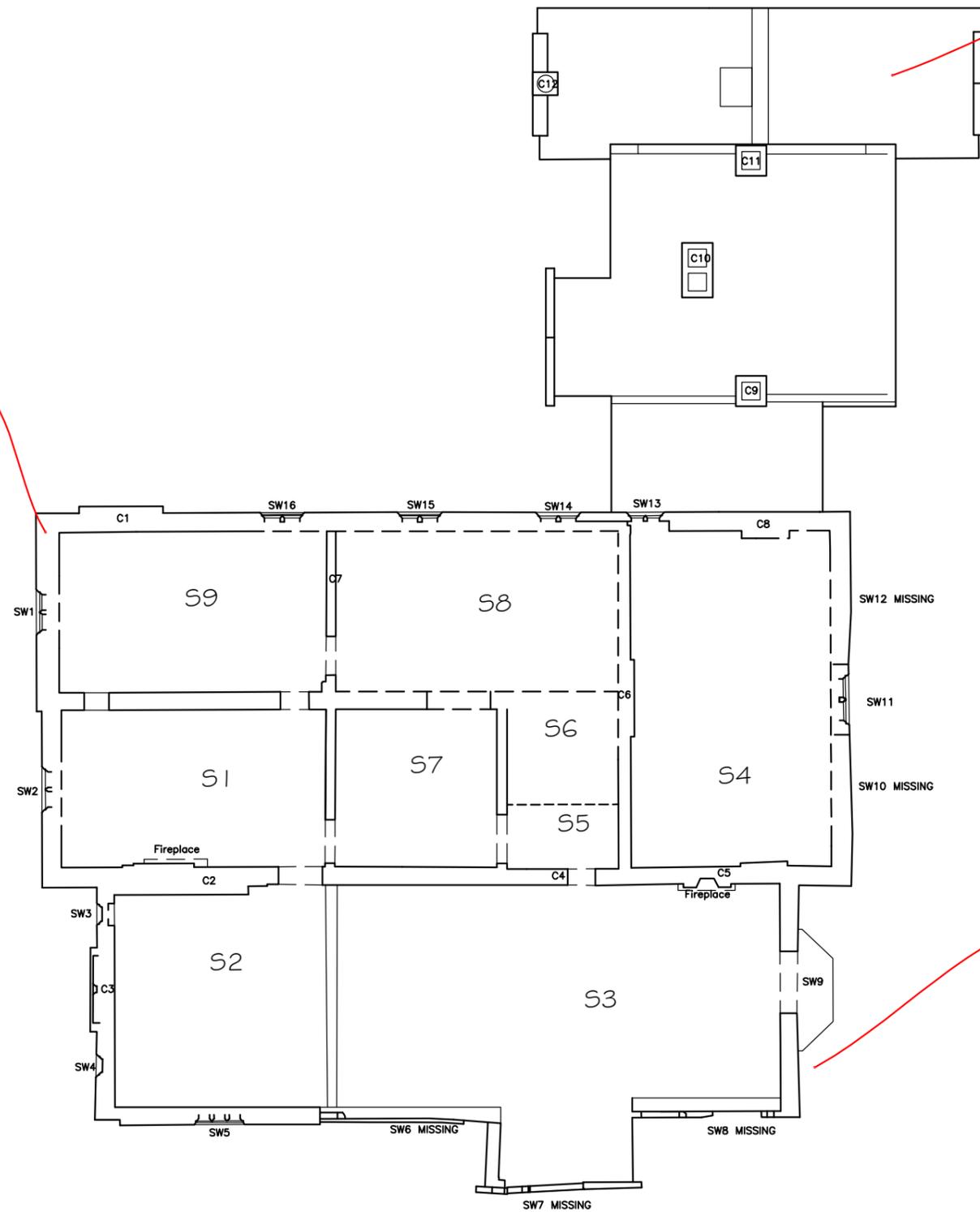
Drg. No. **A-164-34** Rev.

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Roofs removed and all timberwork

All loose masonry and unstable dormers taken down. Wall head capped with durable copings, following removal of decayed materials and consolidation of wall head.



All free standing gables, and all stacks assessed for structural stability. Additional support given where necessary; Lone stacks generally likely to need removal



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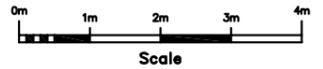
Drawing Title
Repair as Ruin Second Floor Plan

Scale **1:100 @ A1**

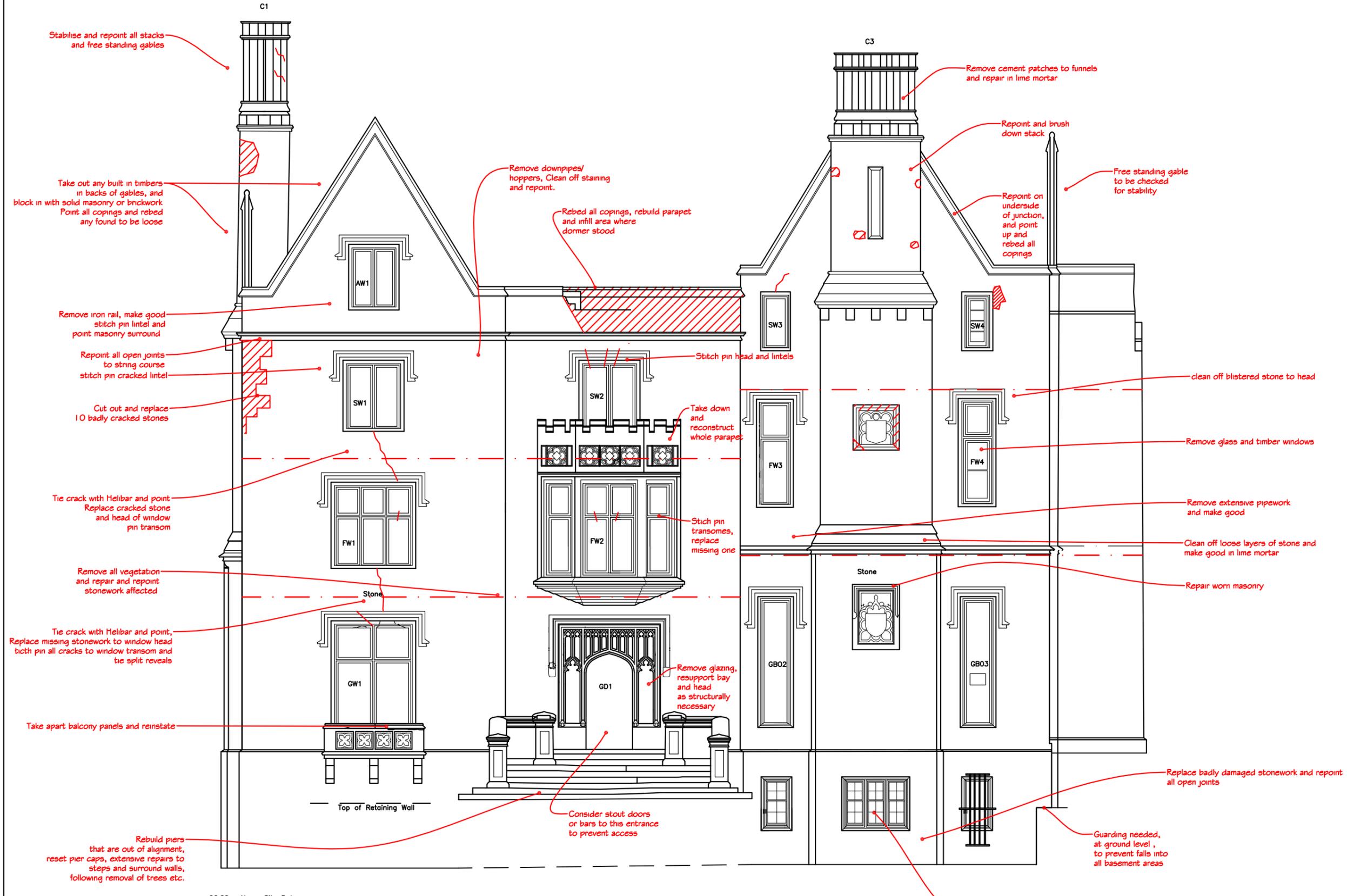
Date **June 2011** Drawn by

Drg. No. A-164-35	Rev.
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Approx floor line



96.00m Above Site Datum

ELEVATION 1 (WEST FACING)

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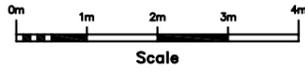
Client **North Kesteven District Council**

Job Title
Nocton Hall Feasibility Study

Drawing Title
Repair as ruin Elevation 1

Scale **1:50 @ A1**
 Date **March 2011** Drawn by

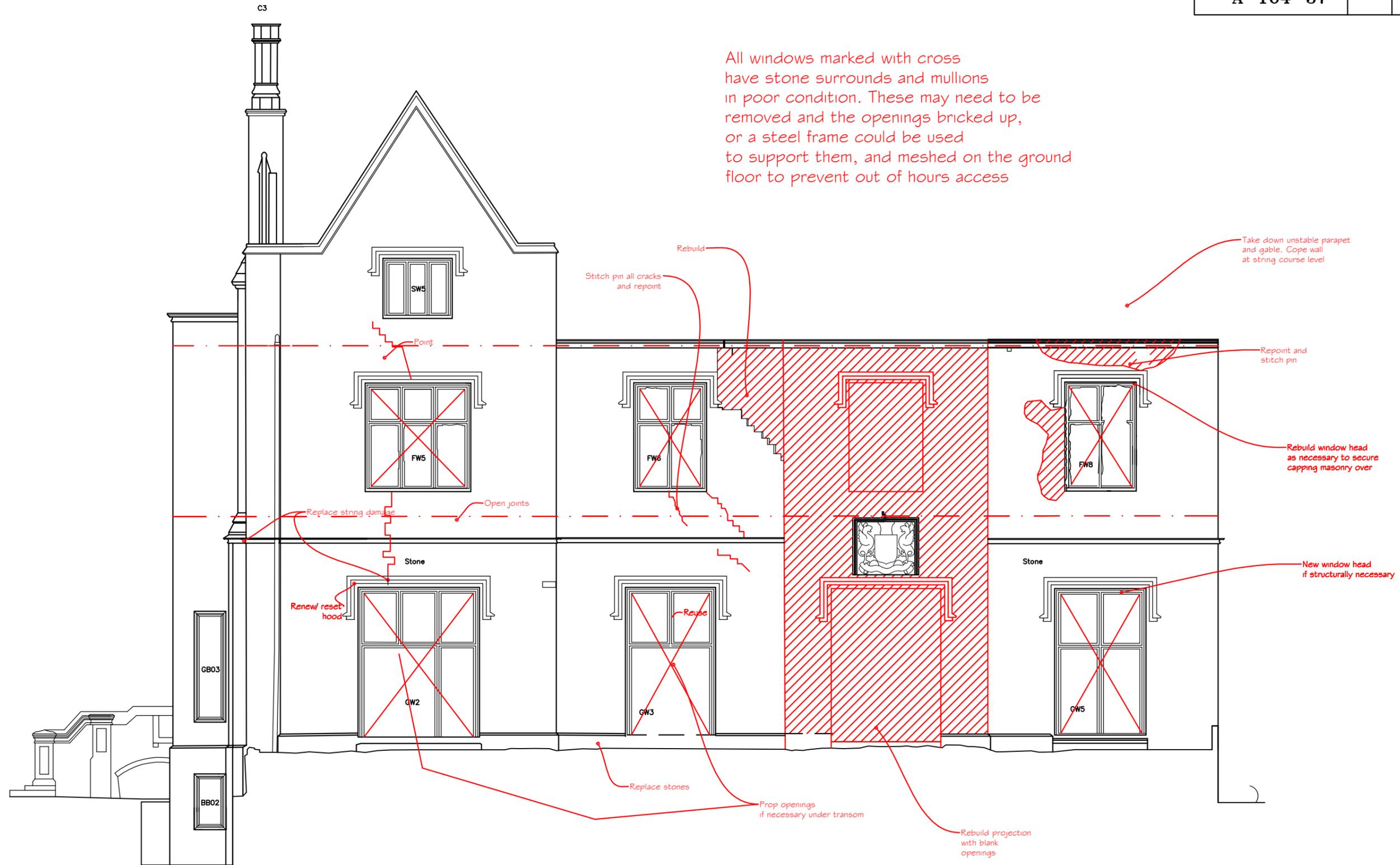
Drg. No. **A-164-36** Rev.



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Drawing Title	Repair as Ruin Elevation 2	Tel : 01205 724047 Fax : 01205 723792 www.andersonandglenn.com
Scale	1:50@A1, 1:100@A3	
Date	June 2011	Drawn by MEA
Drg. No.	A-164-37	Rev.

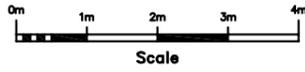
— Approx floor line

All windows marked with cross have stone surrounds and mullions in poor condition. These may need to be removed and the openings bricked up, or a steel frame could be used to support them, and meshed on the ground floor to prevent out of hours access



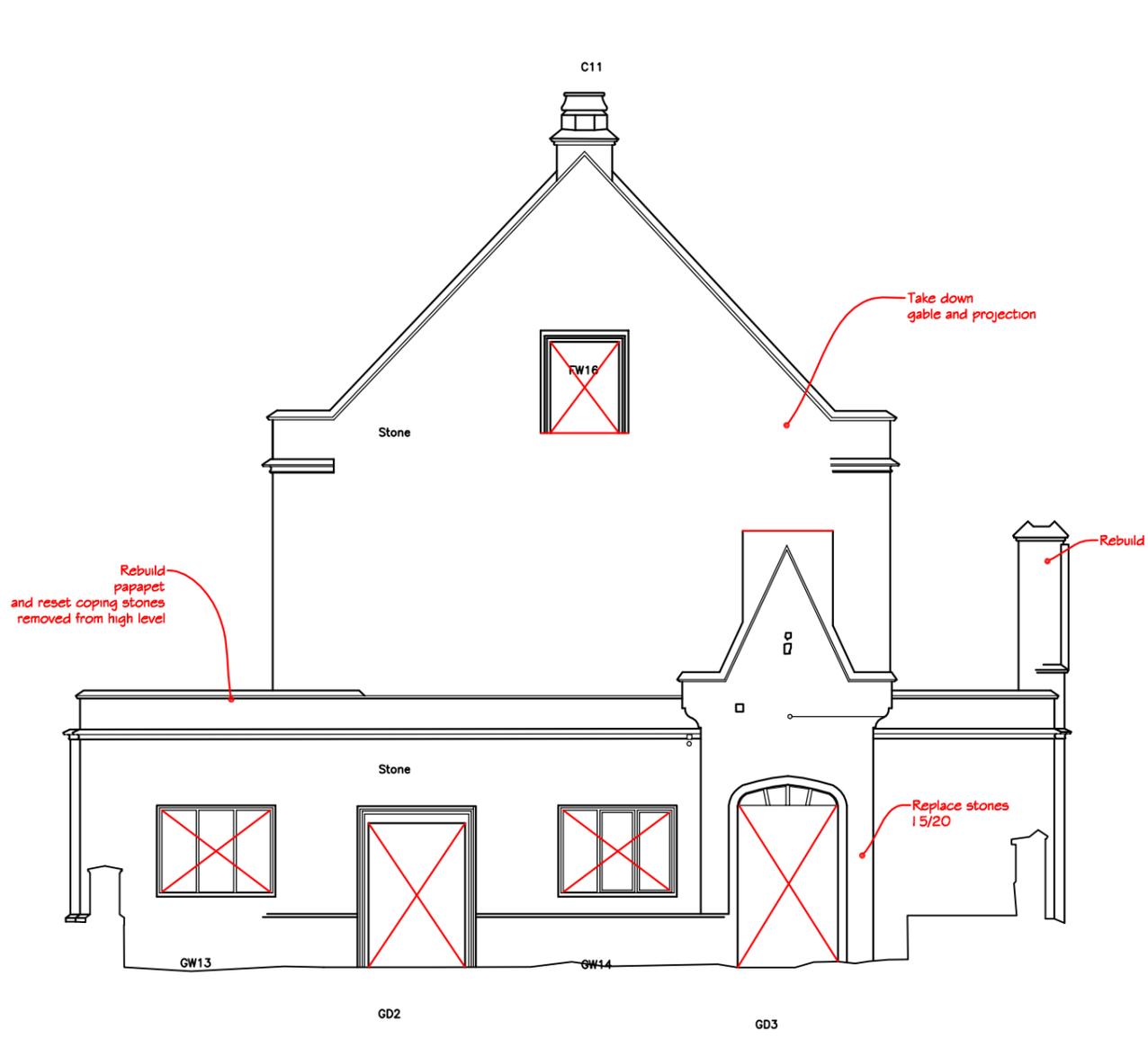
96.00m Above Site Datum

ELEVATION 2 (SOUTH FACING)

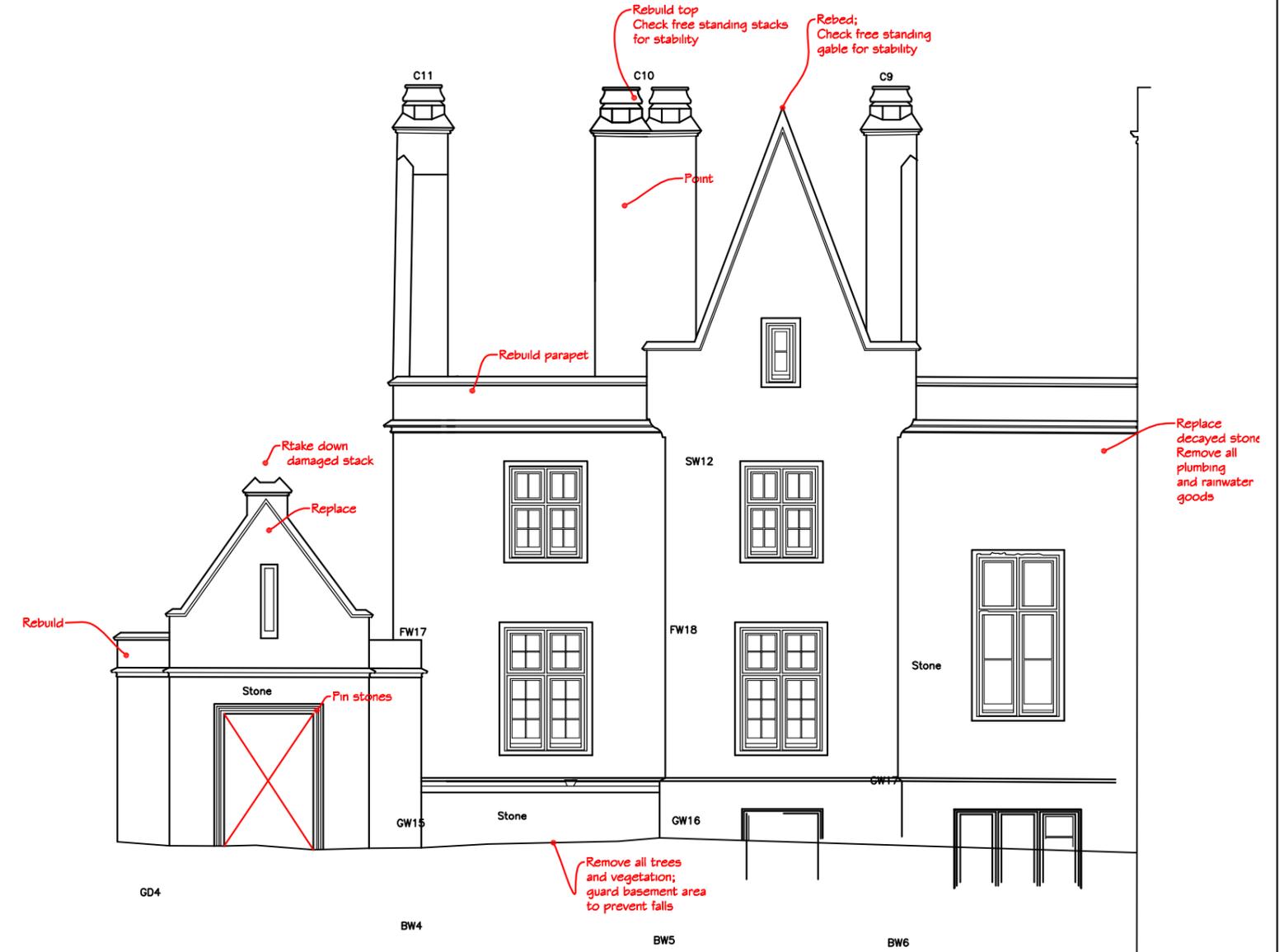


All openings marked with cross need to be secured to prevent access. These may need to be bricked up, or a steel frame could be used and meshed or barred. Remove glass and wooden frames from windows

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Drawing Title	Repair as Ruin Elevation 4 & 5	
Scale	1:50@A1, 1:100@A3	
Date	June 2011	Drawn by MEA
Drg. No.	A-164-39	Rev.



ELEVATION 4 (NORTH FACING)

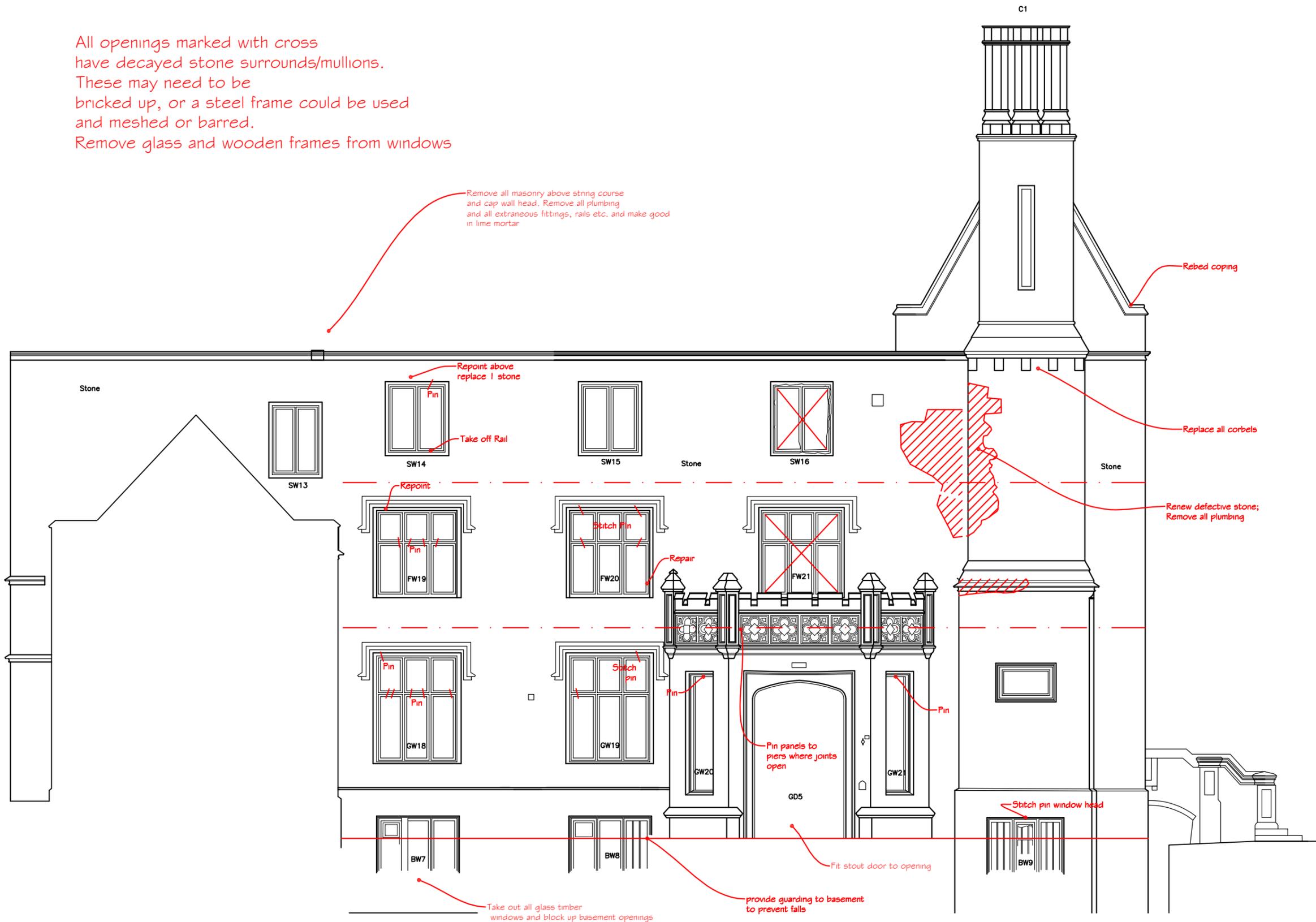
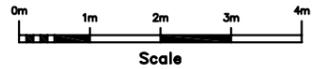


ELEVATION 5 (WEST FACING)

96.00m Above Site Datum

All openings marked with cross have decayed stone surrounds/mullions. These may need to be bricked up, or a steel frame could be used and meshed or barred. Remove glass and wooden frames from windows

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96.00m Above Site Datum

ELEVATION 6 (NORTH FACING)

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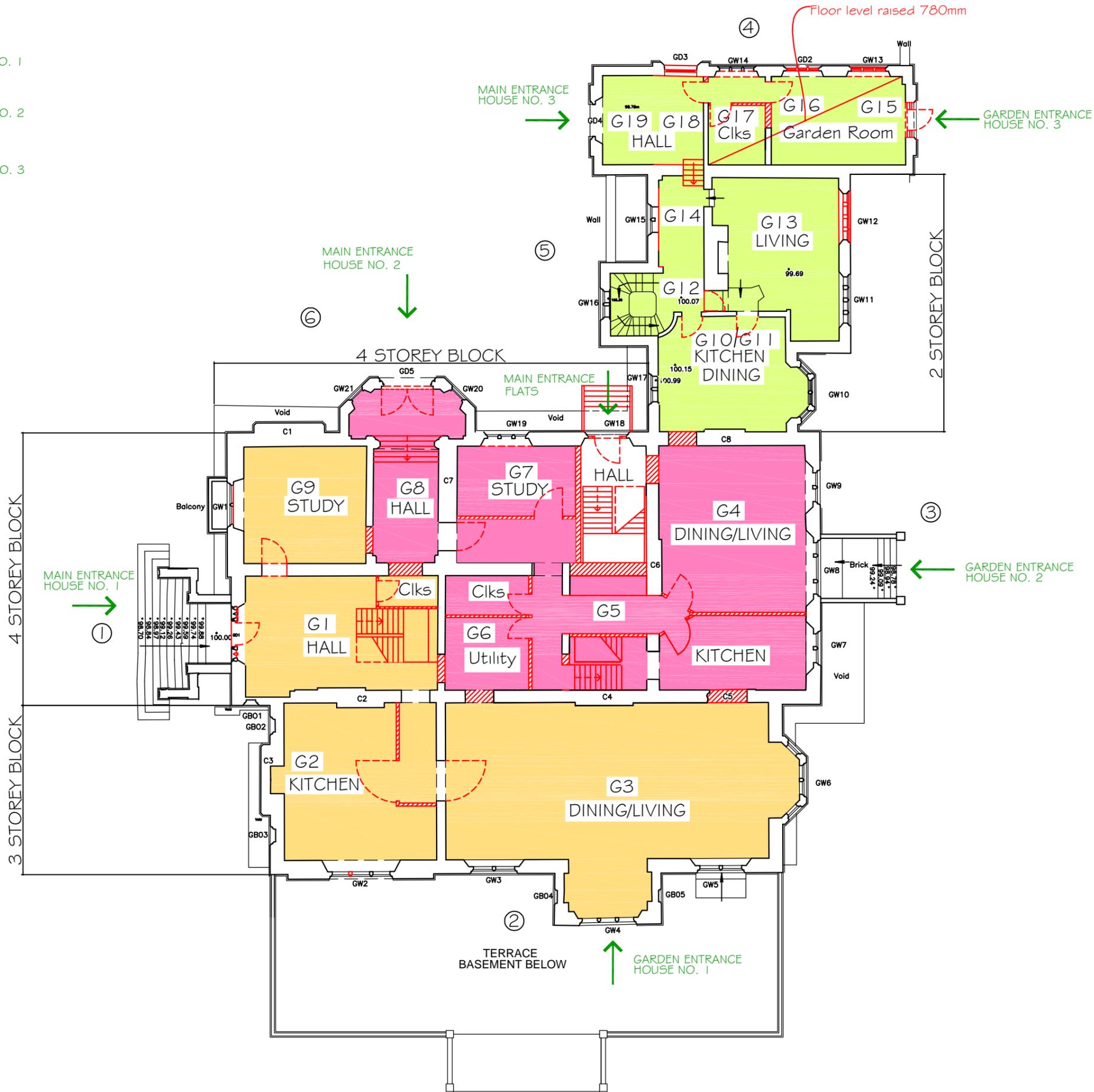
Job Title
Nocton Hall Feasibility Study

Drawing Title
Repair as Ruin Elevation 6

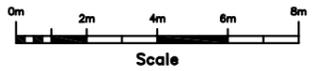
Scale **1:50 @ A1**
 Date **March 2011** Drawn by

Drg. No. **A-164-40** Rev.

- HOUSE NO. 1
- HOUSE NO. 2
- HOUSE NO. 3



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Basement Area fully cleaned out and waterproofed and sub divided as ground floor for use by each house unit for games, storage and utility functions. Concrete waterproofed slab over terraces, paved and surrounded with stone pierced balustrading

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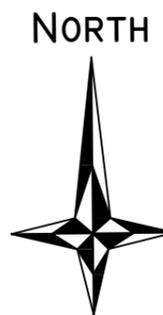
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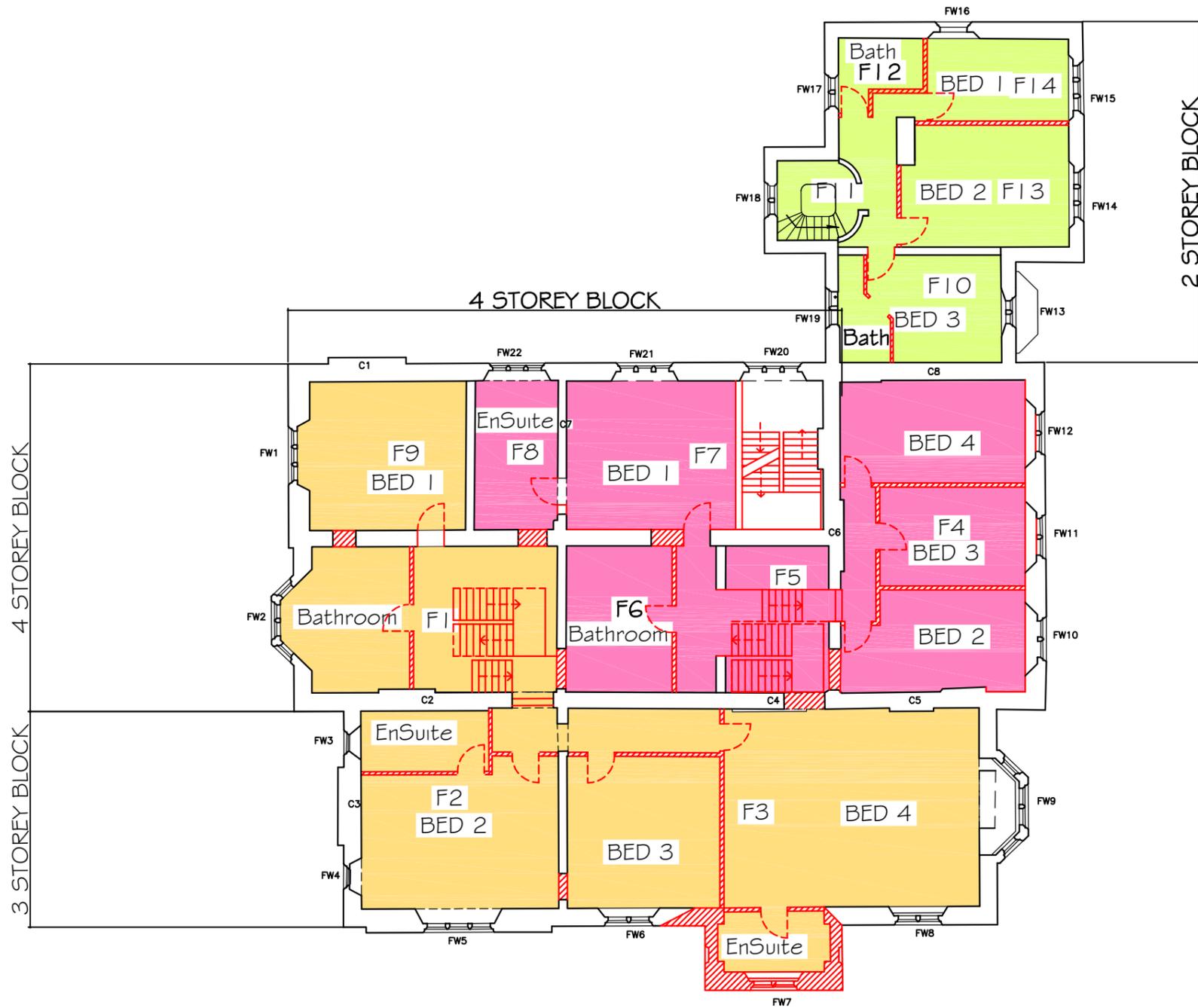
Drawing Title
Full Reinstatement Ground Floor Plan

Scale **1:100 @ A1**
 Date **June 2011** Drawn by

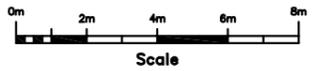
Drg. No. **A-164-53** Rev.



- HOUSE NO. 1
- HOUSE NO. 2
- HOUSE NO. 3



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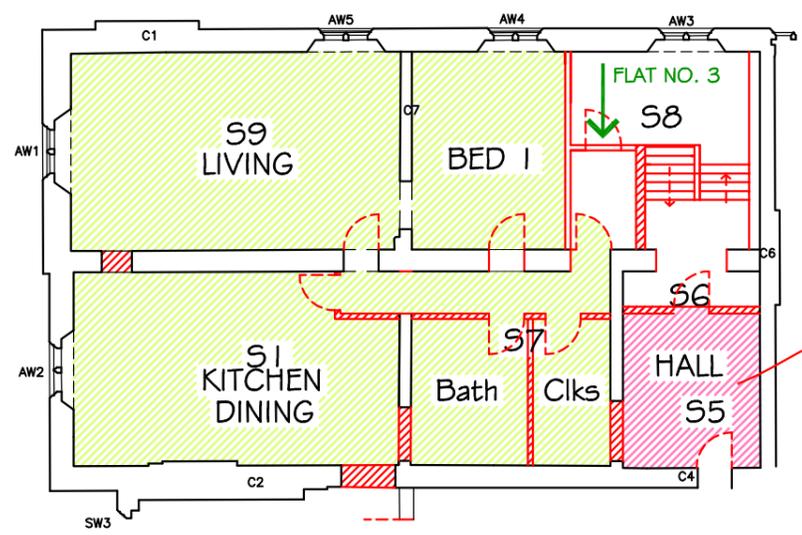
Job Title
Nocton Hall Feasibility Study

Drawing Title
Full Reinstatement First Floor Plan

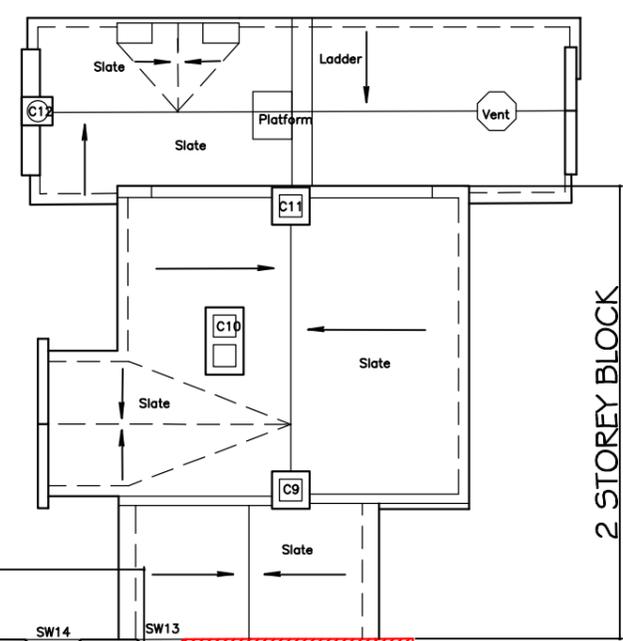
Scale **1:100 @ A1**
 Date **June 2011** Drawn by

Drg. No. **A-164-54** Rev.

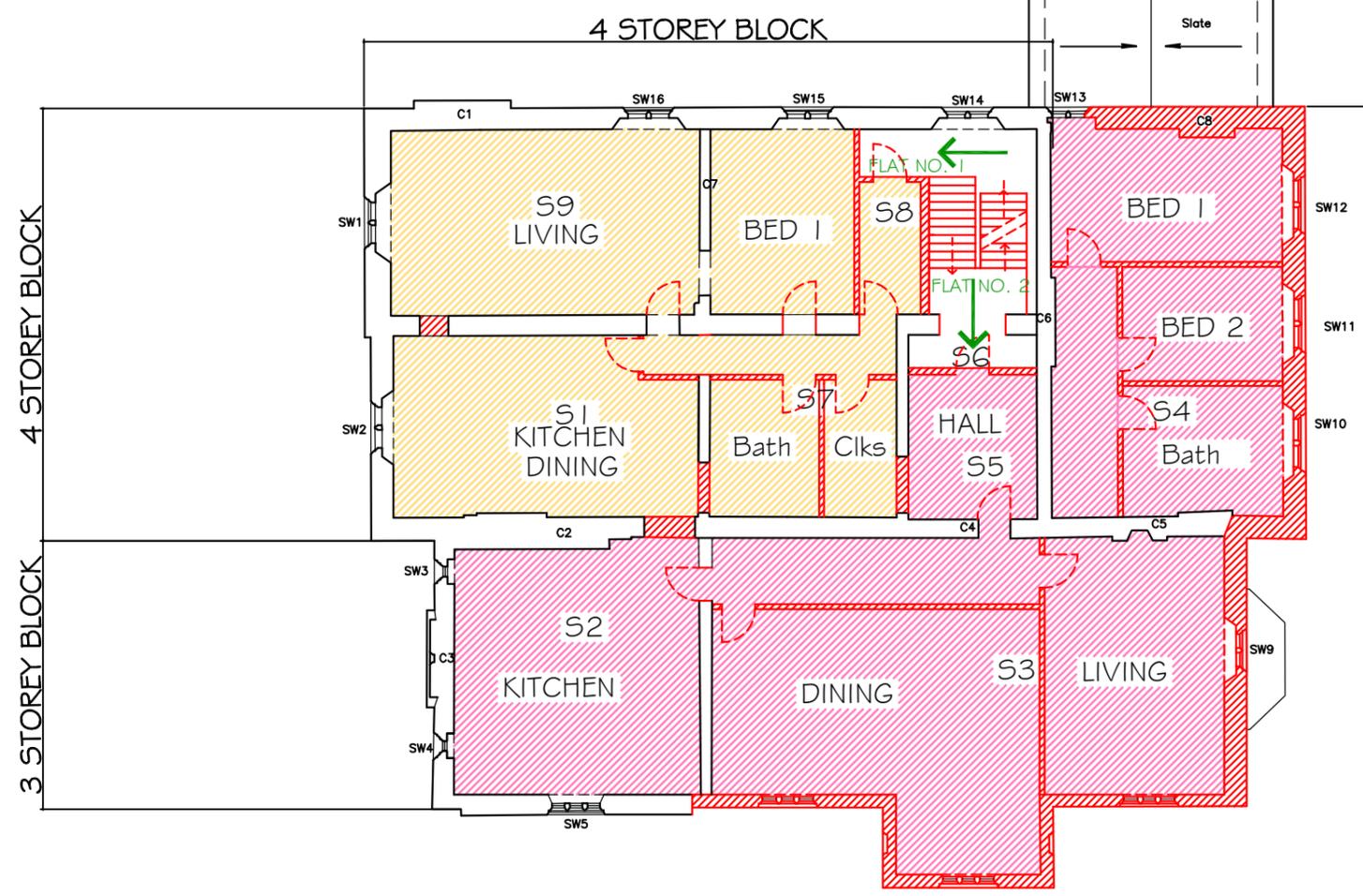




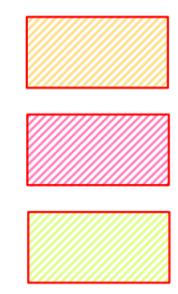
ATTIC FLAT TO 4 STOREY BLOCK



2 STOREY BLOCK

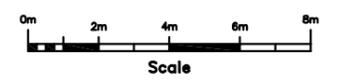


ATTIC FLAT TO 3 STOREY BLOCK



FLAT NO. 1 (2nd floor 4 storey block)
 FLAT NO. 2 (2nd floor of 3 storey block)
 FLAT NO. 3 (3rd floor of 4 storey block)

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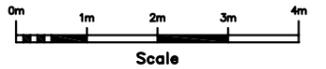
Drawing Title
Full Reinstatement Second Floor Plan

Scale **1:100 @ A1**
 Date **June 2011** Drawn by

Drg. No. **A-164-55** Rev.



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Carry out all essential repairs shown on drawing 36, all cracks stitched, all cement patches removed, all defective stone renewed



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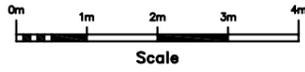
Job Title
Nocton Hall Feasibility Study

Drawing Title
Full Reinstatement Elevation 1

Scale **1:50 @ A1**
 Date **March 2011** Drawn by

Drg. No. **A-164-56** Rev.

ELEVATION 1 (WEST FACING)



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Drawing Title	Full Reinstatement Elevation 2	
Scale	1:50@A1, 1:100@A3	
Date	June 2011	Drawn by MEA
Drg. No.	A-164-57	Rev.

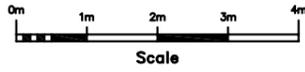


Carry out all essential repairs shown on drawing 37; All stacks repaired, and repointed All damaged stones renewed All windows apart from SW5 require either totally replacing or major piecing in and repairs. All fitted with double glazed sashes.

Coat of arms conserved and reinstated on rebuilt front

96.00m Above Site Datum

ELEVATION 2 (SOUTH FACING)

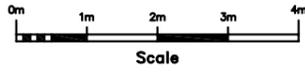


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Drawing Title	Full Reinstatement Elevation 3		
Scale	1:50@A1, 1:100@A3	Tel : 01205 724047	
Date	June 2011	Drawn by	MEA
Drg. No.	A-164-58	Rev.	
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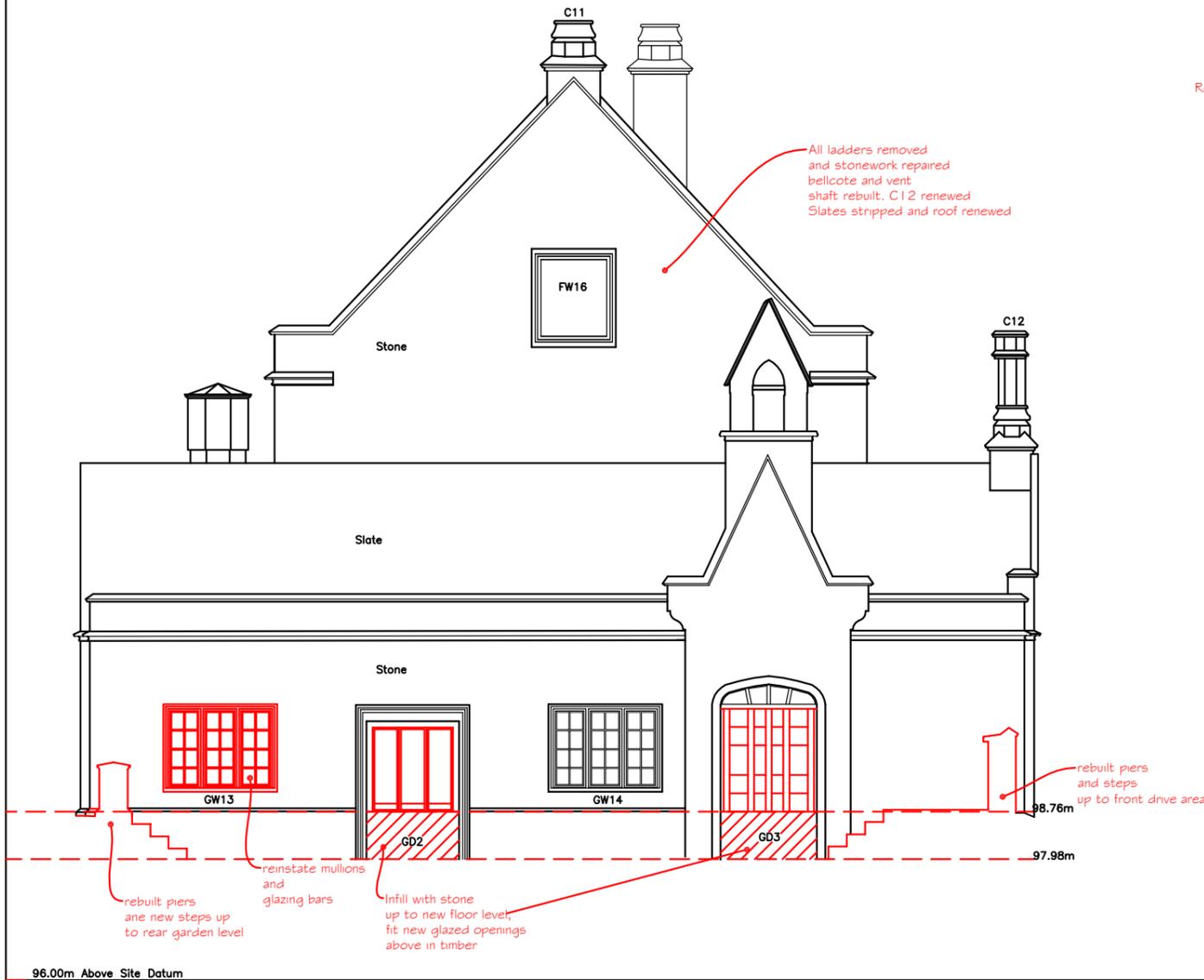
Carry out all essential repairs shown on drawing 38, point all heads and remove all fixings

ELEVATION 3 (EAST FACING)

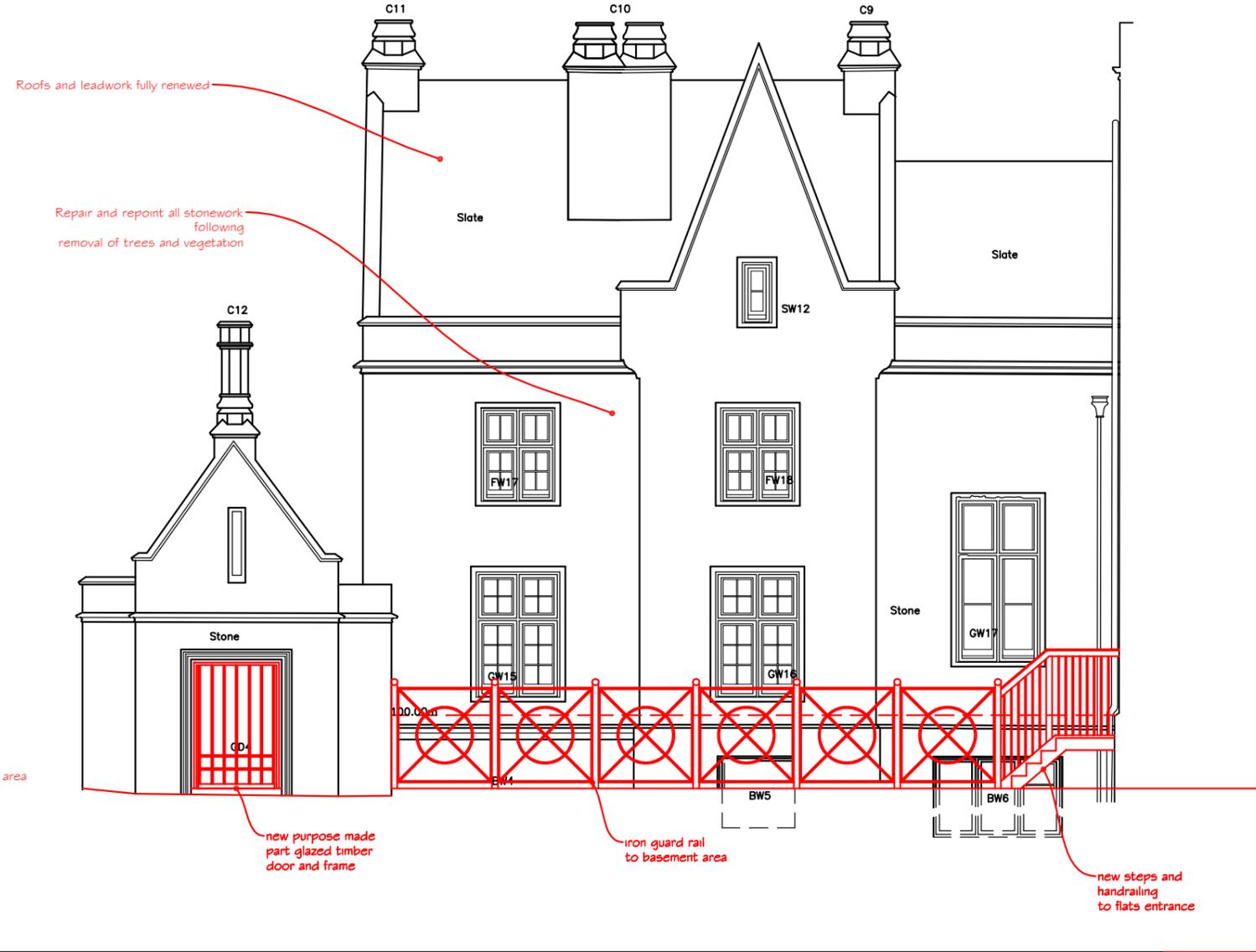


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Drawing Title	Full Reinstatement Elevation 4 & 5		
Scale	1:50@A1, 1:100@A3	Tel : 01205 724047	
Date	June 2011	Drawn by	MEA
Drg. No.	A-164-59	Rev.	
		Fax : 01205 723792	
		www.andersonandglenn.com	

Carry out all essential repairs shown on drawing 39, replace head and transom of GW17



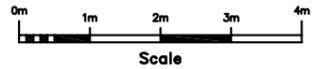
ELEVATION 4 (NORTH FACING)



ELEVATION 5 (WEST FACING)

96.00m Above Site Datum

NOTES :
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Carry out all essential repairs shown on drawing 40 and replace stone window surrounds to FW19 and 21 and head of SW16



95.00m Above Site Datum

ELEVATION 6 (NORTH FACING)

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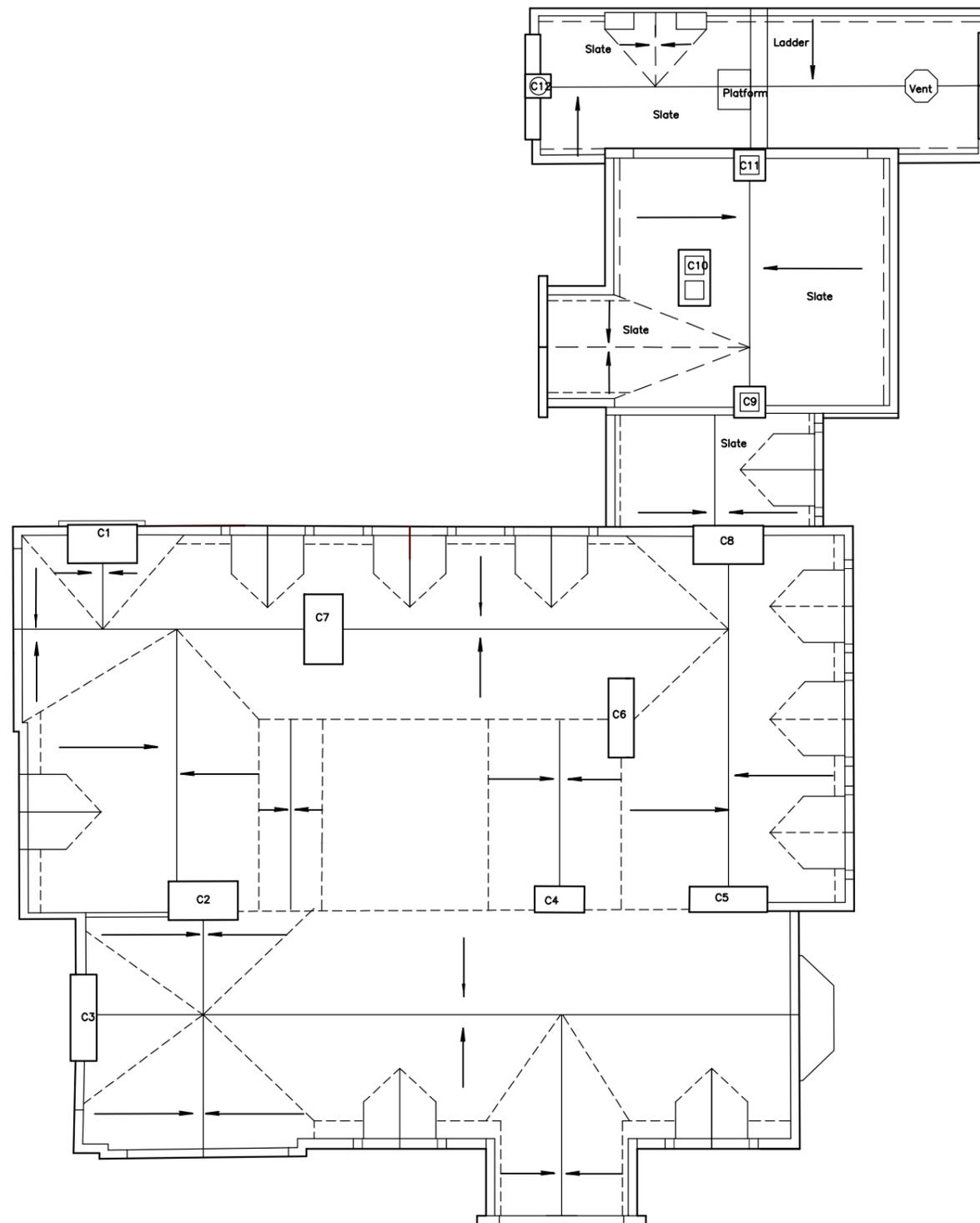
Client **North Kesteven District Council**

Job Title
Nocton Hall Feasibility Study

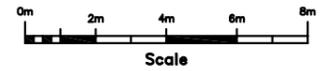
Drawing Title
Full Reinstatement Elevation 6

Scale **1:50 @ A1**
 Date **March 2011** Drawn by

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ROOF FORM ASSESSED FROM EARLIER PHOTOGRAPHS AND EVIDENCE REMAINING ON SITE. EXACT FORM OF INNER ROOF AREA NOT CERTAIN

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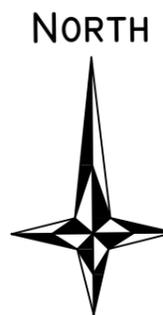
Job Title
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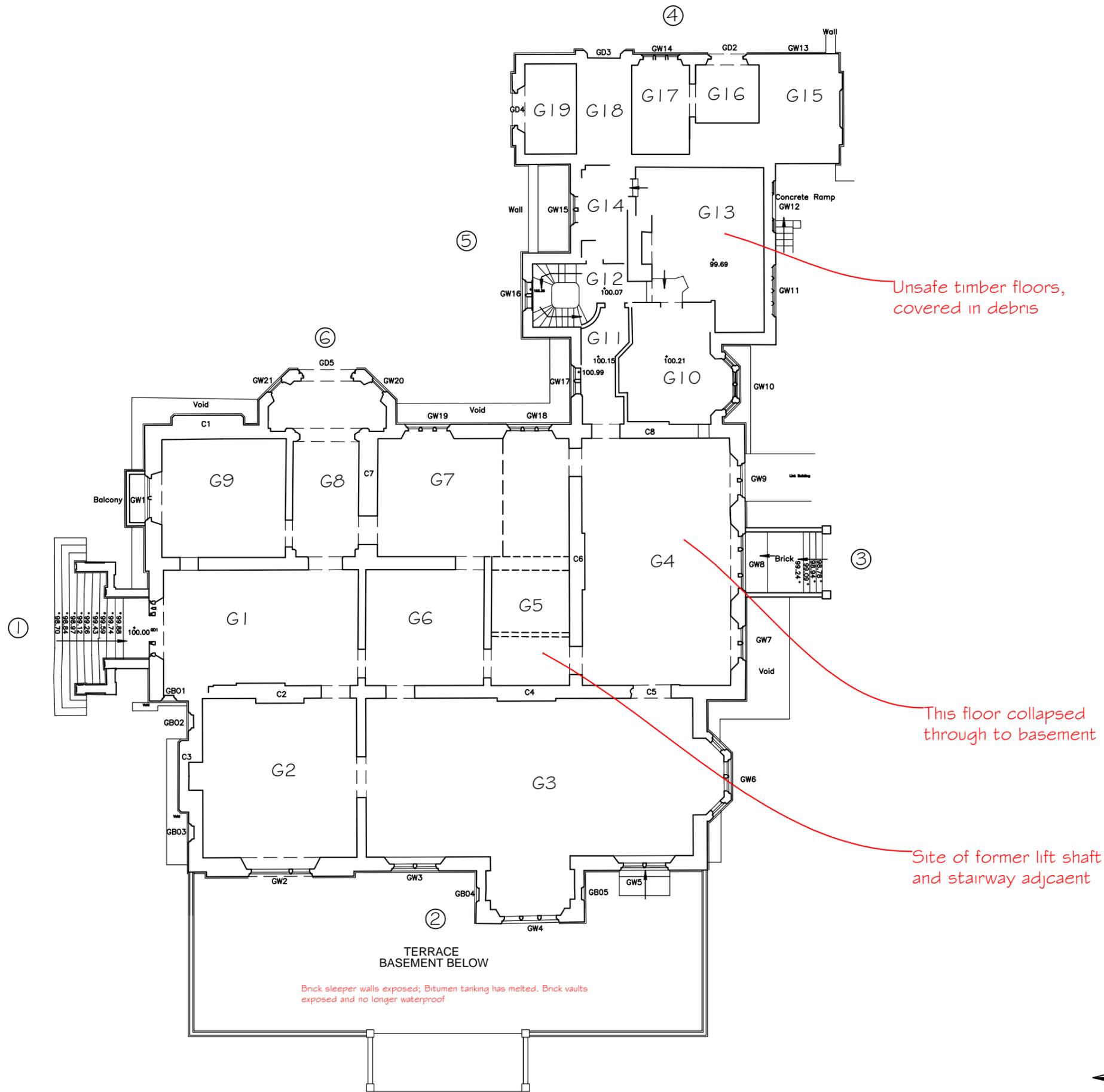
Drawing Title
Full Reinstatement Roof Plan

Scale **1:100 @ A1**

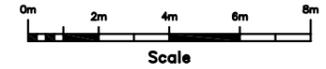
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NOTE: Interior full of vegetation and rubble; unsafe to enter and carry out detailed survey

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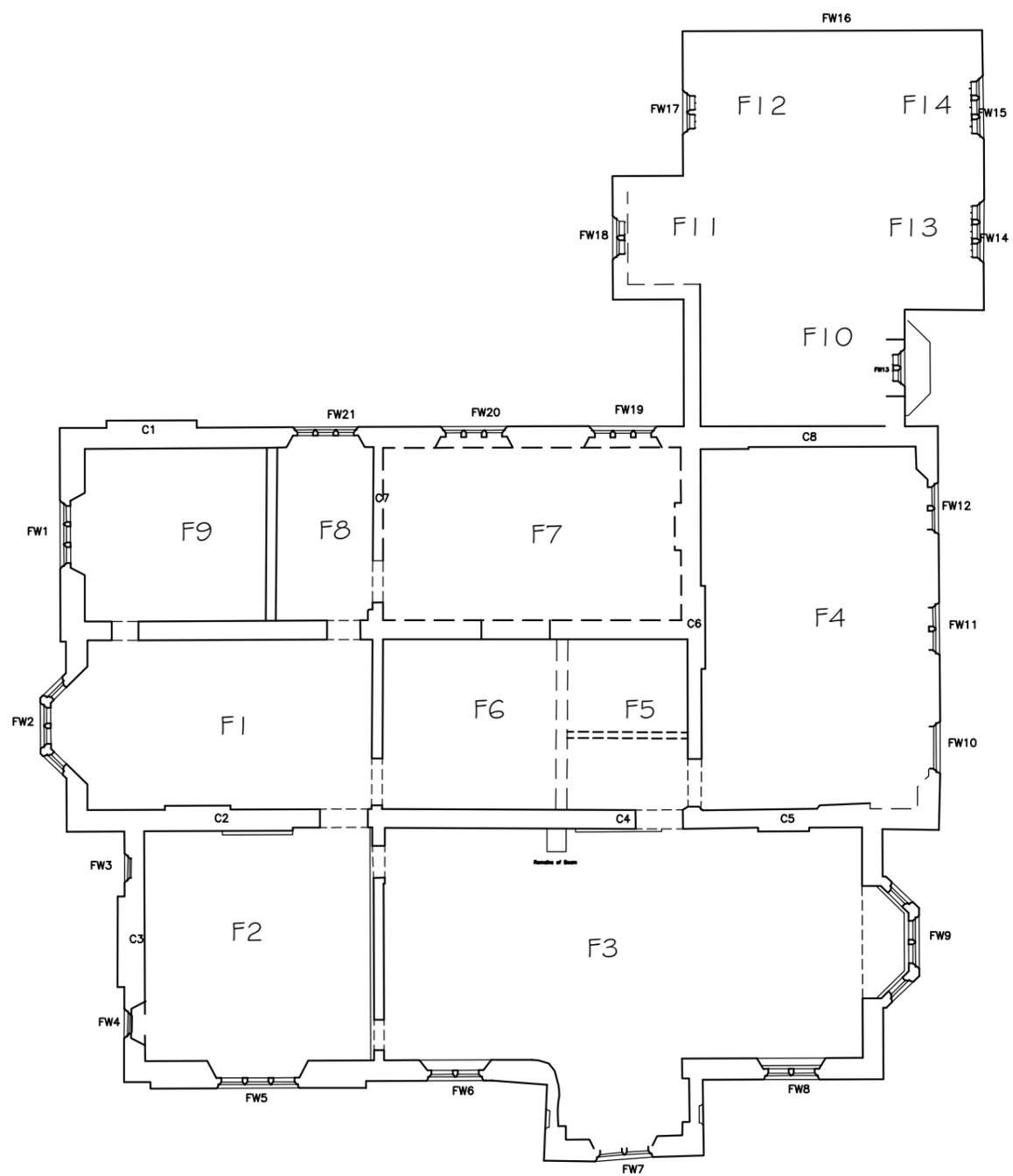
Job Title
Nocton Hall Feasibility Study

Drawing Title
Partial Demolition Ground Floor Plan

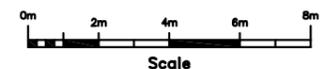
Scale **1:100 @ A1**
 Date **June 2011** Drawn by

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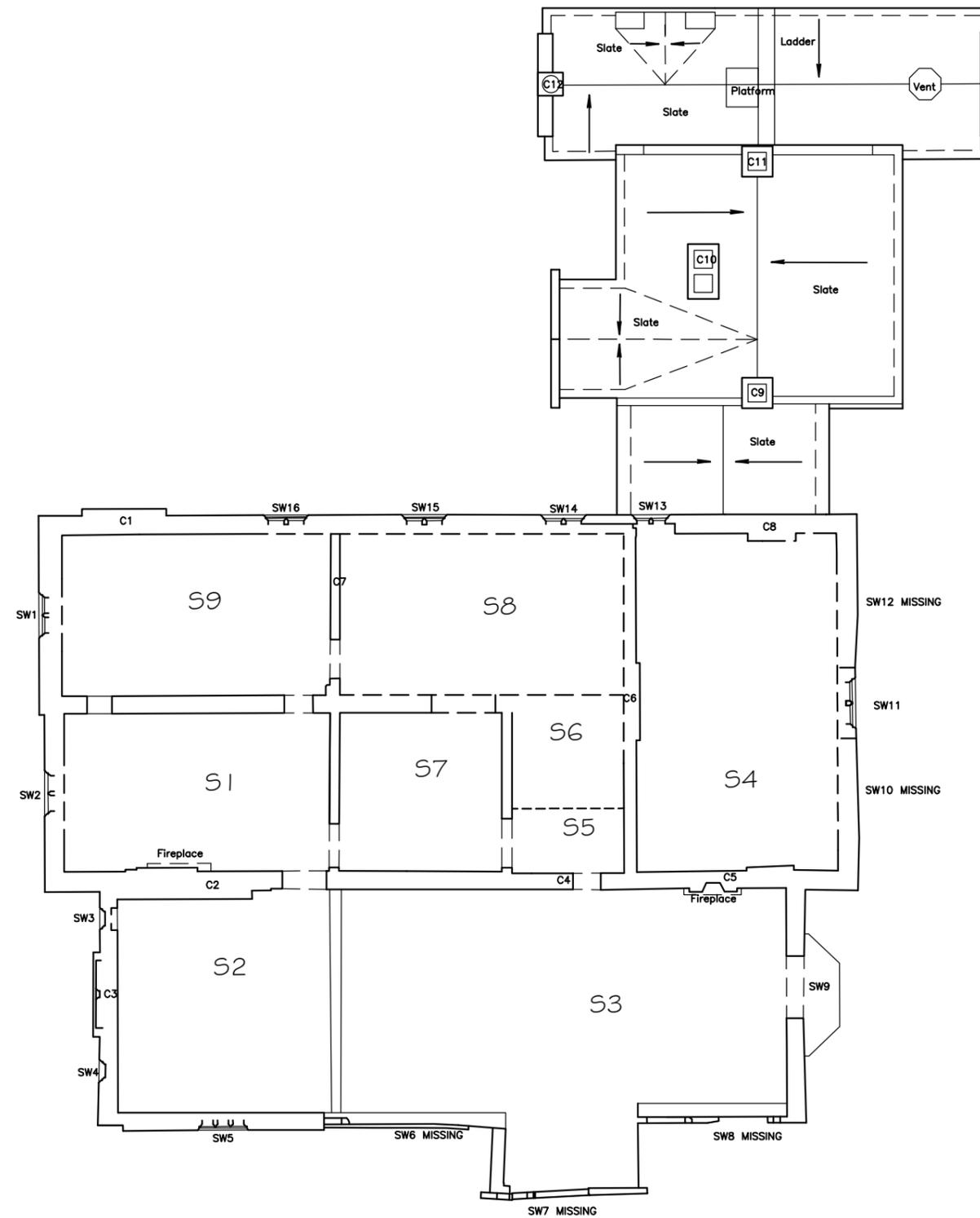
Job Title
Nocton Hall Feasibility Study

Drawing Title
Partial Demolition First Floor Plan

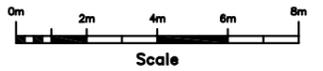
Scale **1:100 @ A1**
 Date **June 2011** Drawn by

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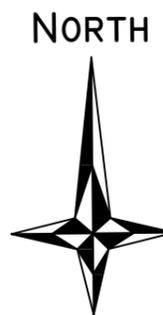
Job Title
Nocton Hall Feasibility Study

Drawing Title
Partial Demolition Second Floor Plan

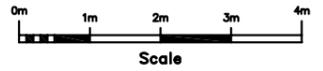
Scale **1:100 @ A1**

Date **June 2011** Drawn by

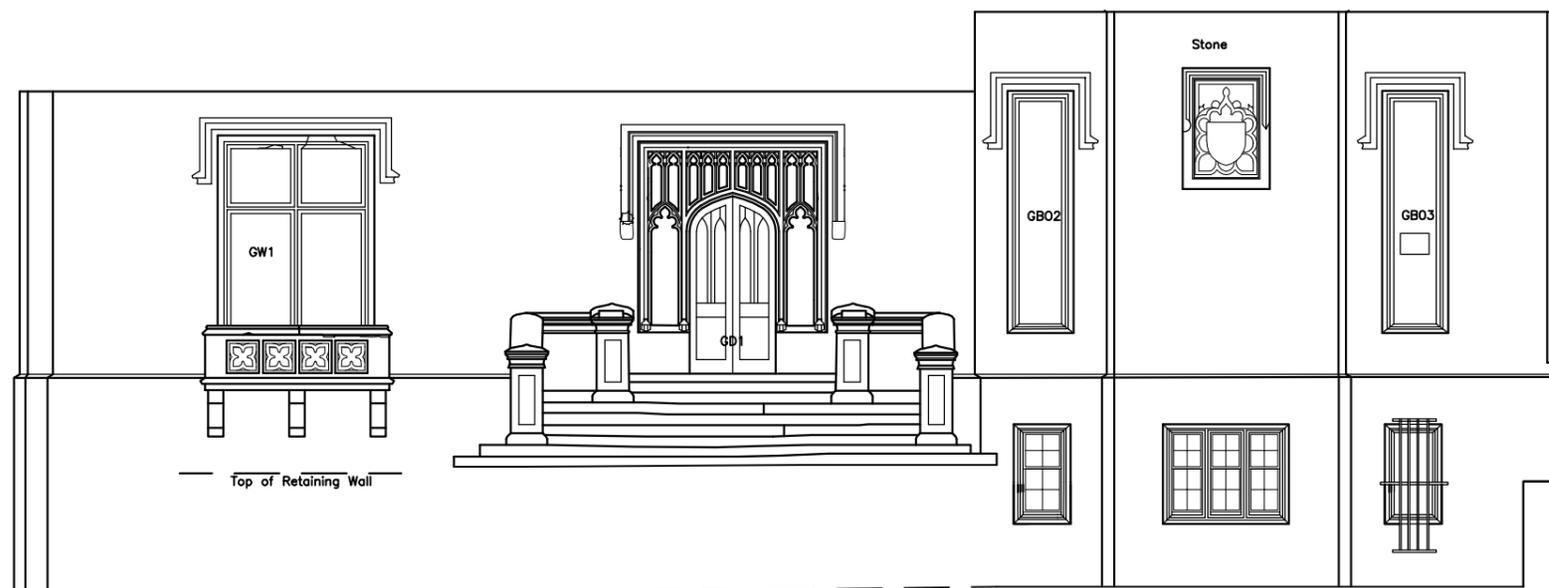
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Carry out all essential repairs shown on drawing 36



96.00m Above Site Datum

ELEVATION 1 (WEST FACING)

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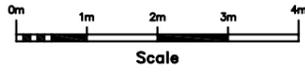
Job Title
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Drawing Title
Partial Demolition Elevation 1

Scale **1:50 @ A1**

Date **March 2011** Drawn by

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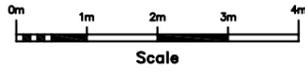
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Job Title	Nocton Hall Feasibility Study	
Drawing Title	Partial Demolition Elevation 2	
Scale	1:50@A1, 1:100@A3	
Date	June 2011	Drawn by MBA
Drg. No.	A-164-77	Rev.

Carry out all
essential repairs
shown on drawing
37



96.00m Above Site Datum

ELEVATION 2 (SOUTH FACING)



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Carry out all
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39

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Drawing Title	Partial Demolition Elevation 4 & 5		
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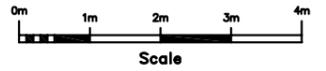


96.00m Above Site Datum

ELEVATION 4 (NORTH FACING)

ELEVATION 5 (WEST FACING)

NOTES :
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Carry out all essential repairs shown on drawing 40



96.00m Above Site Datum

ELEVATION 6 (NORTH FACING)

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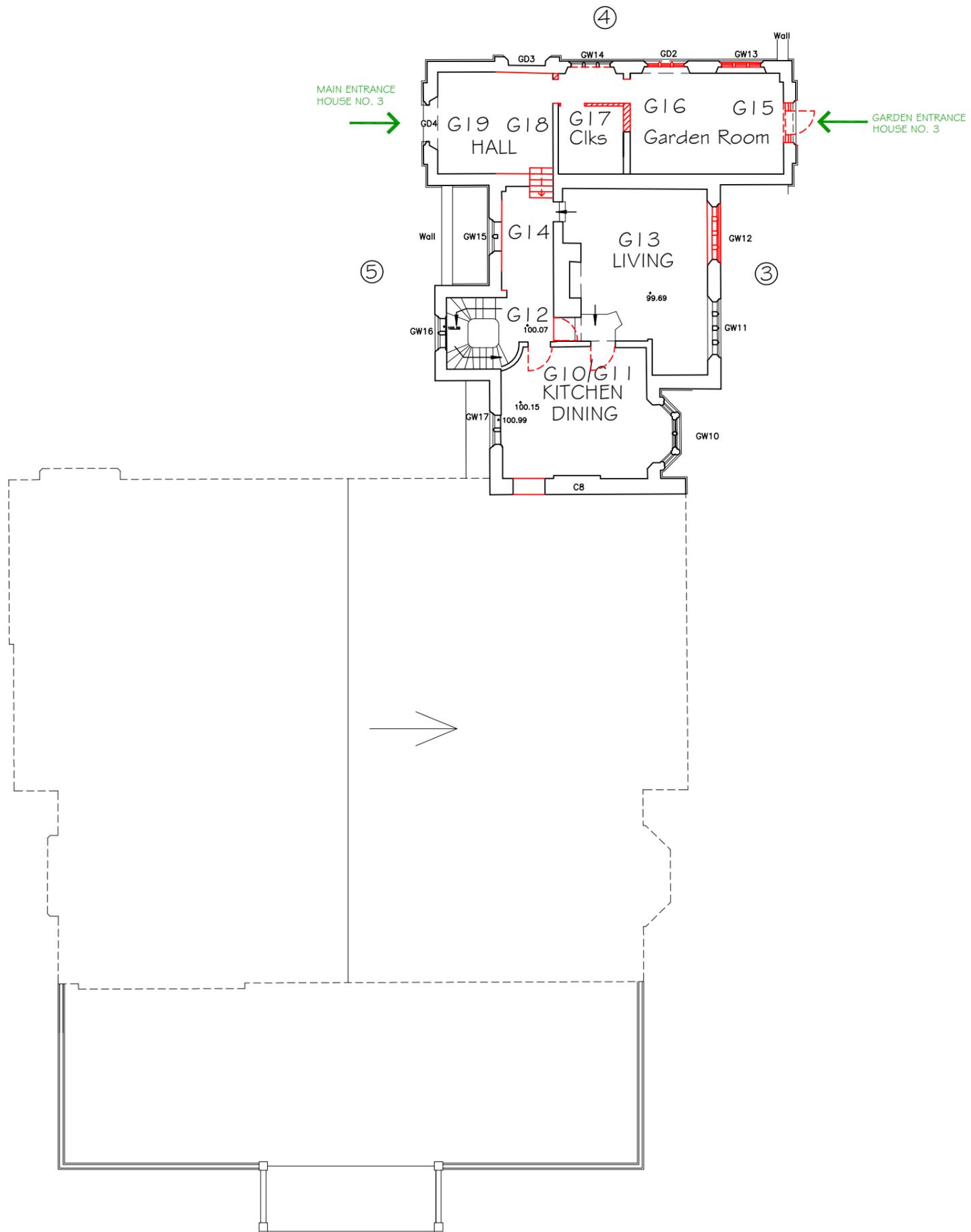
Job Title
**Nocton Hall
 Feasibility Study**

Drawing Title
**Partial Demolition
 Elevation 6**

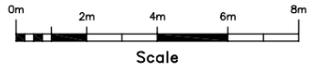
Scale
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Job Title
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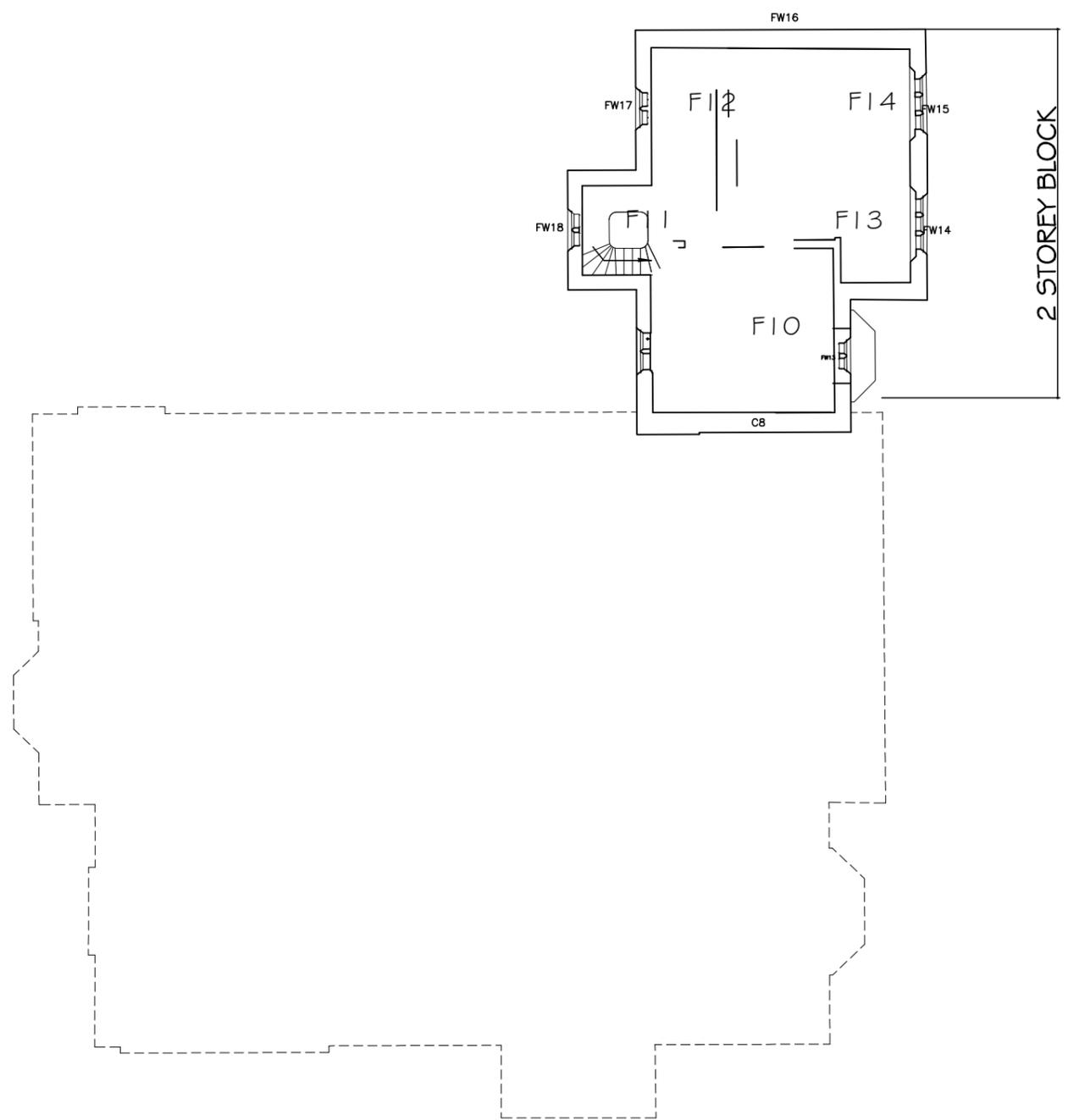
Drawing Title
Partial Demolition Ground Floor Plan

Scale **1:100 @ A1**

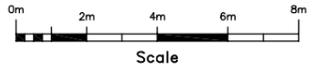
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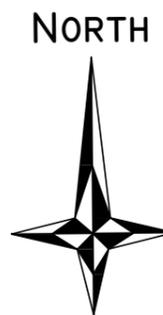
Job Title
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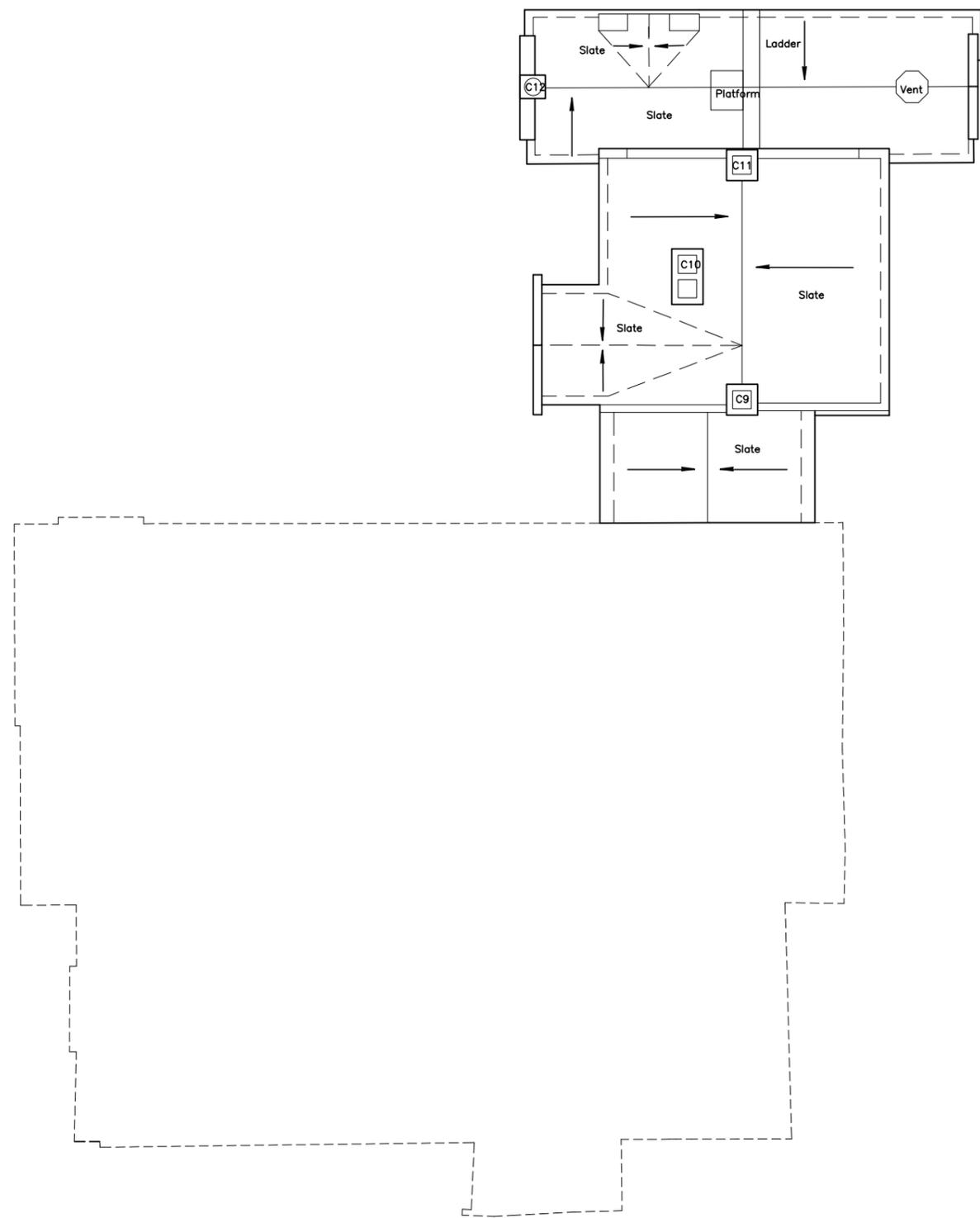
Drawing Title
Partial Demolition First Floor Plan

Scale **1:100 @ A1**

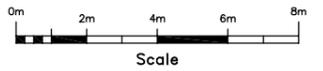
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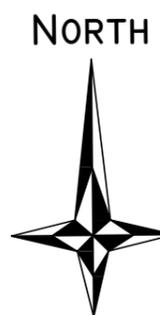
Job Title
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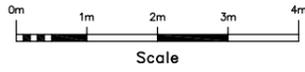
Drawing Title
Partial Demolition Second Floor Plan

Scale **1:100 @ A1**

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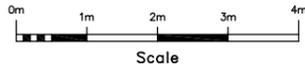
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Drawing Title	Partial Demolition Elevation 3	
Scale	1:50@A1, 1:100@A3	
Date	June 2011	Drawn by MEA
Drg. No.	A-164-98	Rev.

Carry out all
essential repairs
shown on drawing
38



Above Site Datum

ELEVATION 3 (EAST FACING)



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Carry out all
essential repairs
shown on drawing
39

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Drawing Title	Partial Demolition Elevation 4 & 5		
Scale	1:50@A1, 1:100@A3		Tel : 01205 724047
Date	June 2011	Drawn by	MEA
Drg. No.	A-164-99		Fax : 01205 723792
		Rev.	www.andersonandglenn.com

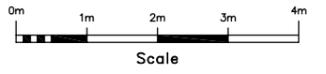


96.00m Above Site Datum

ELEVATION 4 (NORTH FACING)

ELEVATION 5 (WEST FACING)

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Carry out all essential repairs shown on drawing 40



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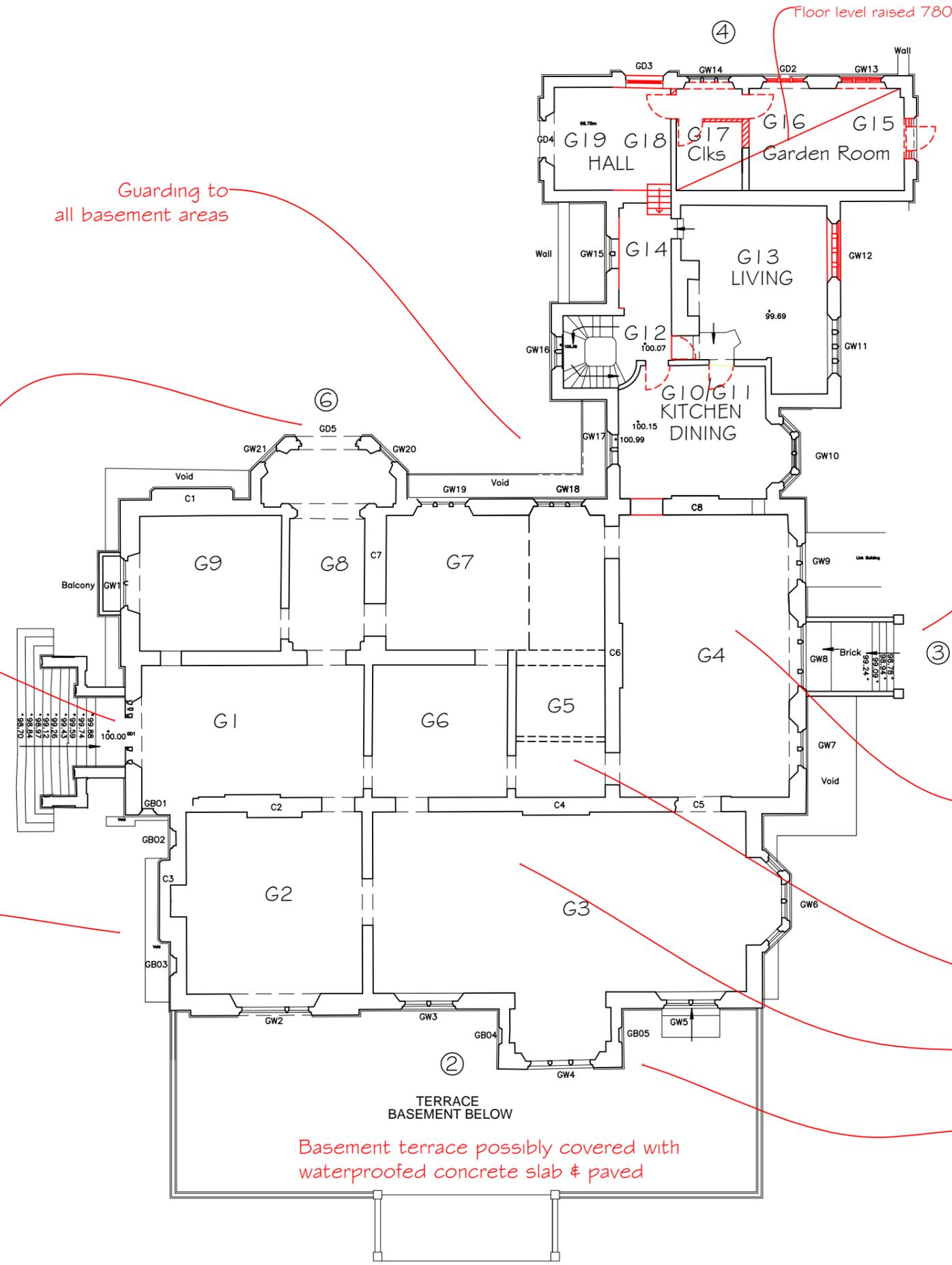
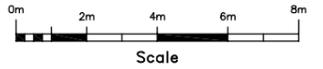
Drawing Title
Partial Demolition Elevation 6

Scale **1:50 @ A1**
 Date **March 2011** Drawn by

Drg. No. **A-164-100** Rev.

ELEVATION 6 (NORTH FACING)

NOTES :
 All dimensions must be checked on site and any discrepancies reported to architect. Do not scale from this drawing. If in doubt ask.



Guarding to all basement areas

Stout doors to be considered to prevent access except when viewing is available

All open areas to basement to be guarded to prevent falls

Basement terrace possibly covered with waterproofed concrete slab & paved

Floor level raised 780mm

1 Residential Unit/ or community use

Steps up to this area removed

House preserved as ruin

All rubble removed from basement and ground floors. Access into this area restricted by bars across door openings to prevent falls into void below

All internal walls and partitions made safe

Cast new section of floor where damaged by beam collapse

Unsafe projection rebuilt



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 Tel : 01205 724047
 Fax : 01205 723792
 www.andersonandglenn.com

Client **North Kesteven District Council**

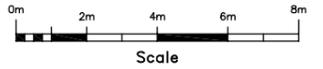
Job Title **Nocton Hall Feasibility Study**

Drawing Title
Repair as Ruin & Service Wing Conversion Ground Floor Plan

Scale **1:100 @ A1**
 Date **Oct 2011** Drawn by

Drg. No. **A-164-103** Rev.

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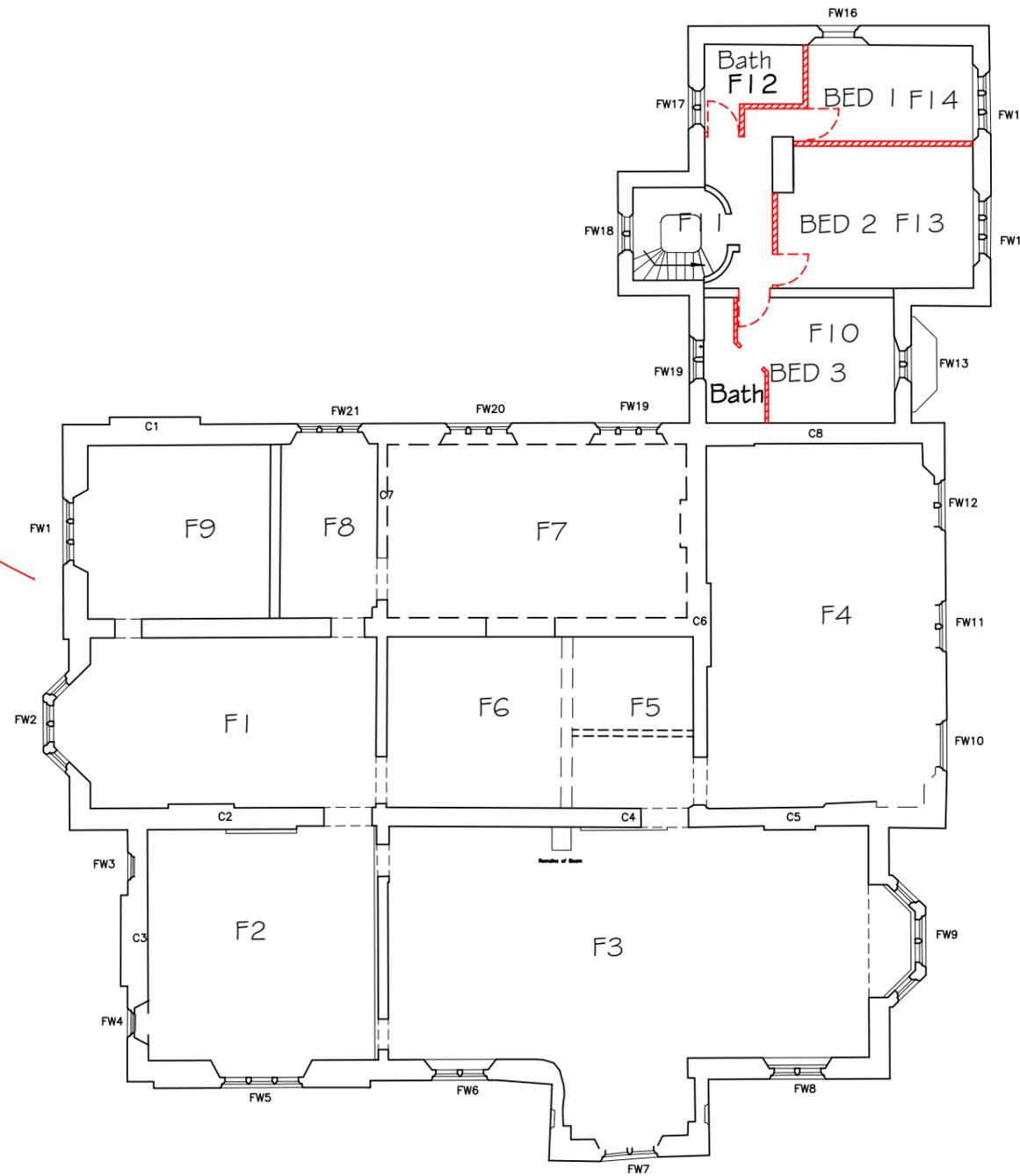


1 Residential Unit/
 or community use

House preserved
 as ruin

Partly collapsed
 projection rebuilt
 to first floor wall head

Walls generally
 reduced in height
 to top of first floor
 storey height



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Client **North Kesteven
 District Council**

Job Title
**Nocton Hall
 Feasibility Study**

Drawing Title
**Repair as Ruin &
 Service Wing Conversion
 First Floor Plan**

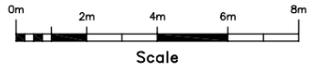
Scale **1:100 @ A1**

Date **Oct 2011** Drawn by

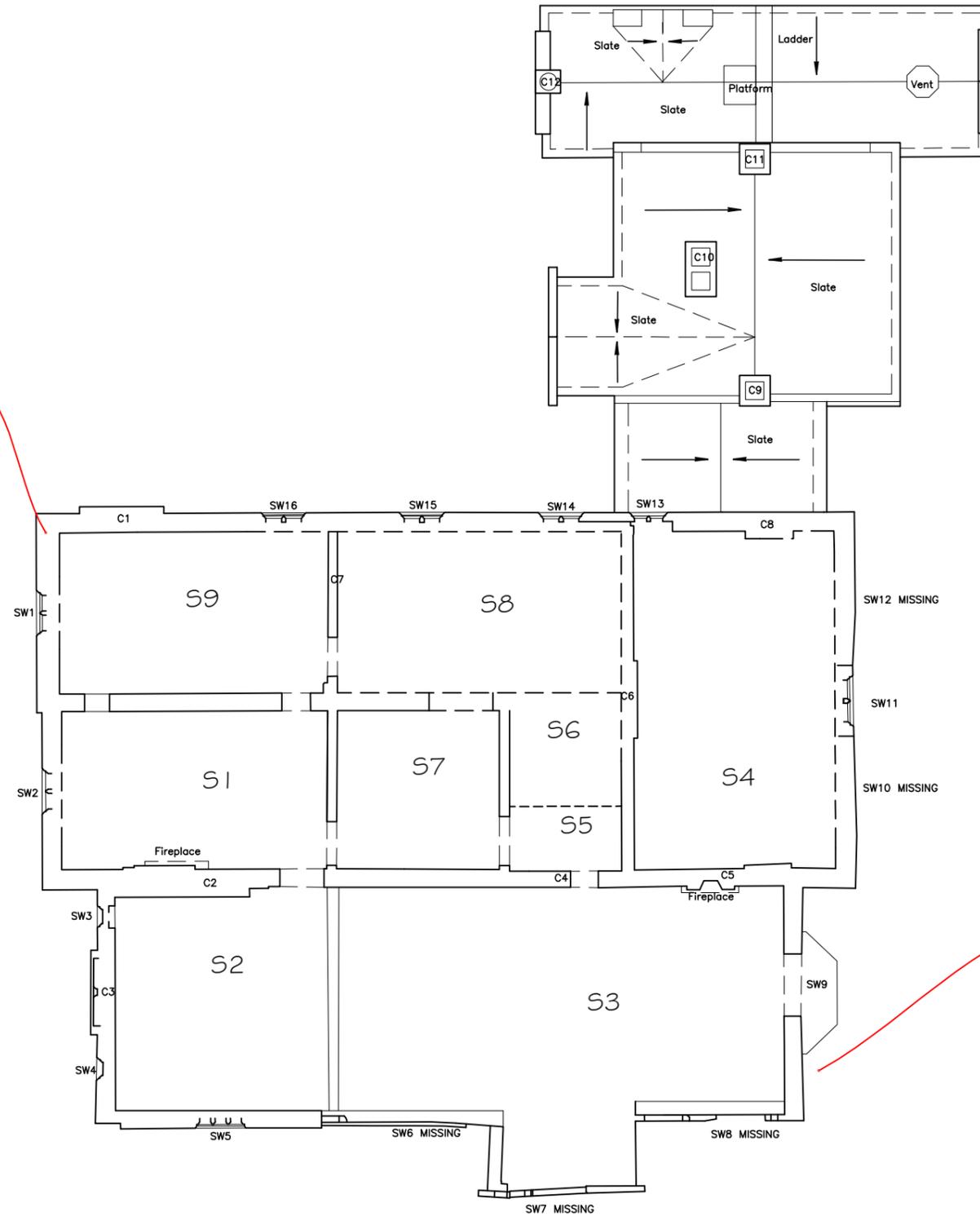
Drg. No. A-164-104	Rev.
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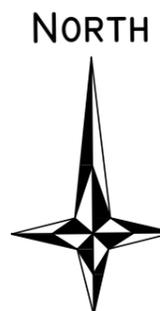
All loose masonry and unstable dormers taken down. Wall head capped with durable copings, following removal of decayed materials and consolidation of wall head.



1 Residential Unit/
 or community use

House preserved
 as ruin

All free standing gables,
 and all stacks
 assessed for structural stability.
 Additional support given
 where necessary;
 Lone stacks generally
 likely to need removal



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Job Title
Nocton Hall Feasibility Study

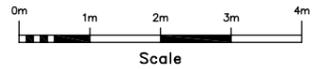
Drawing Title
Repair as Ruin & Service Wing Conversion Second Floor Plan

Scale **1:100 @ A1**

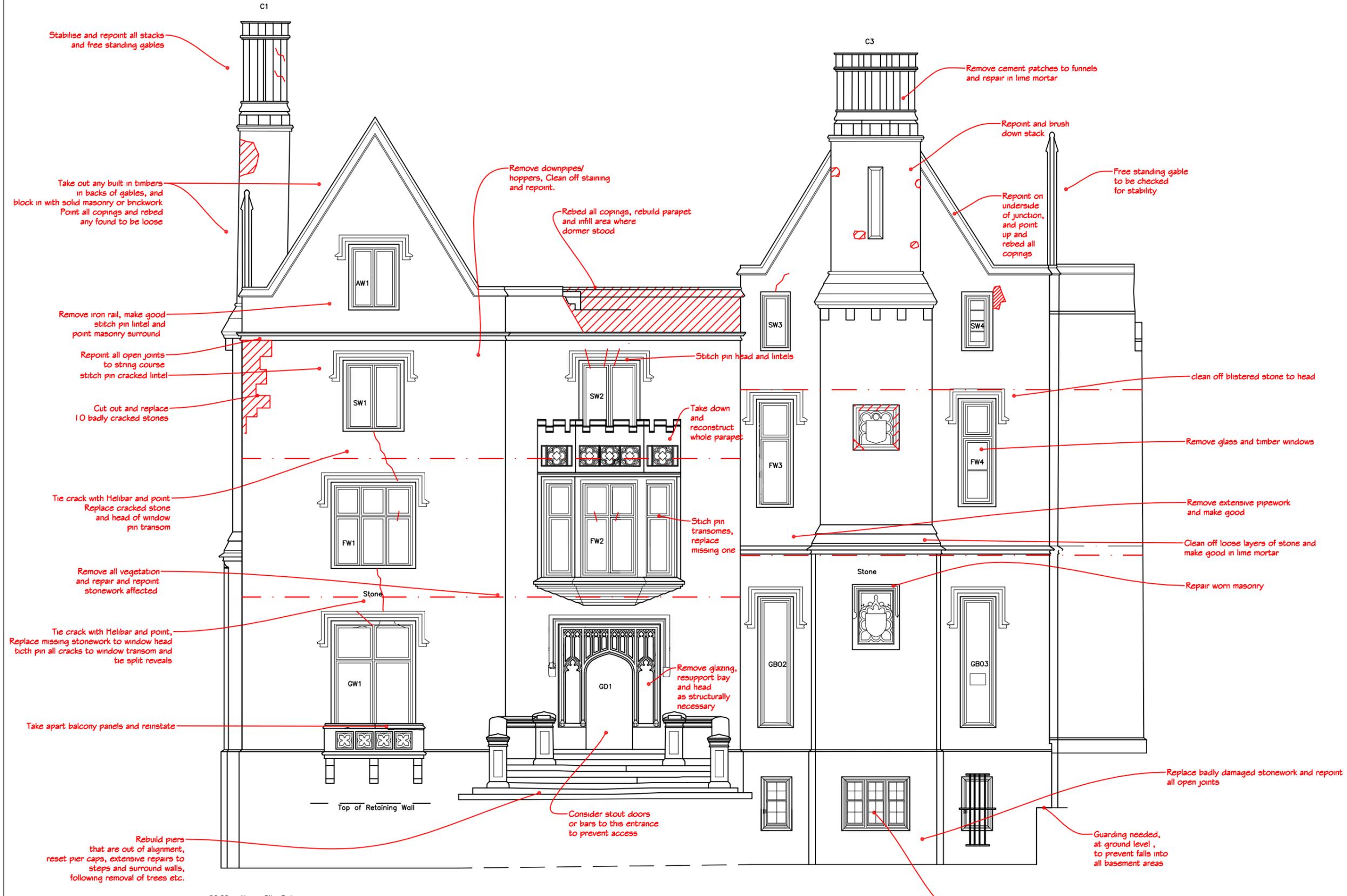
Date **Oct 2011** Drawn by

Drg. No. A-164-105	Rev.
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NOTES :
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Approx floor line



96.00m Above Site Datum

ELEVATION 1 (WEST FACING)

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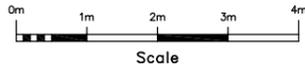
Client **North Kesteven District Council**

Job Title
Nocton Hall Feasibility Study

Drawing Title
Repair As Ruin & Service Wing Conversion Elevation 1

Scale **1:50 @ A1**
 Date **Oct 2011** Drawn by

Drg. No. **A-164-106** Rev.

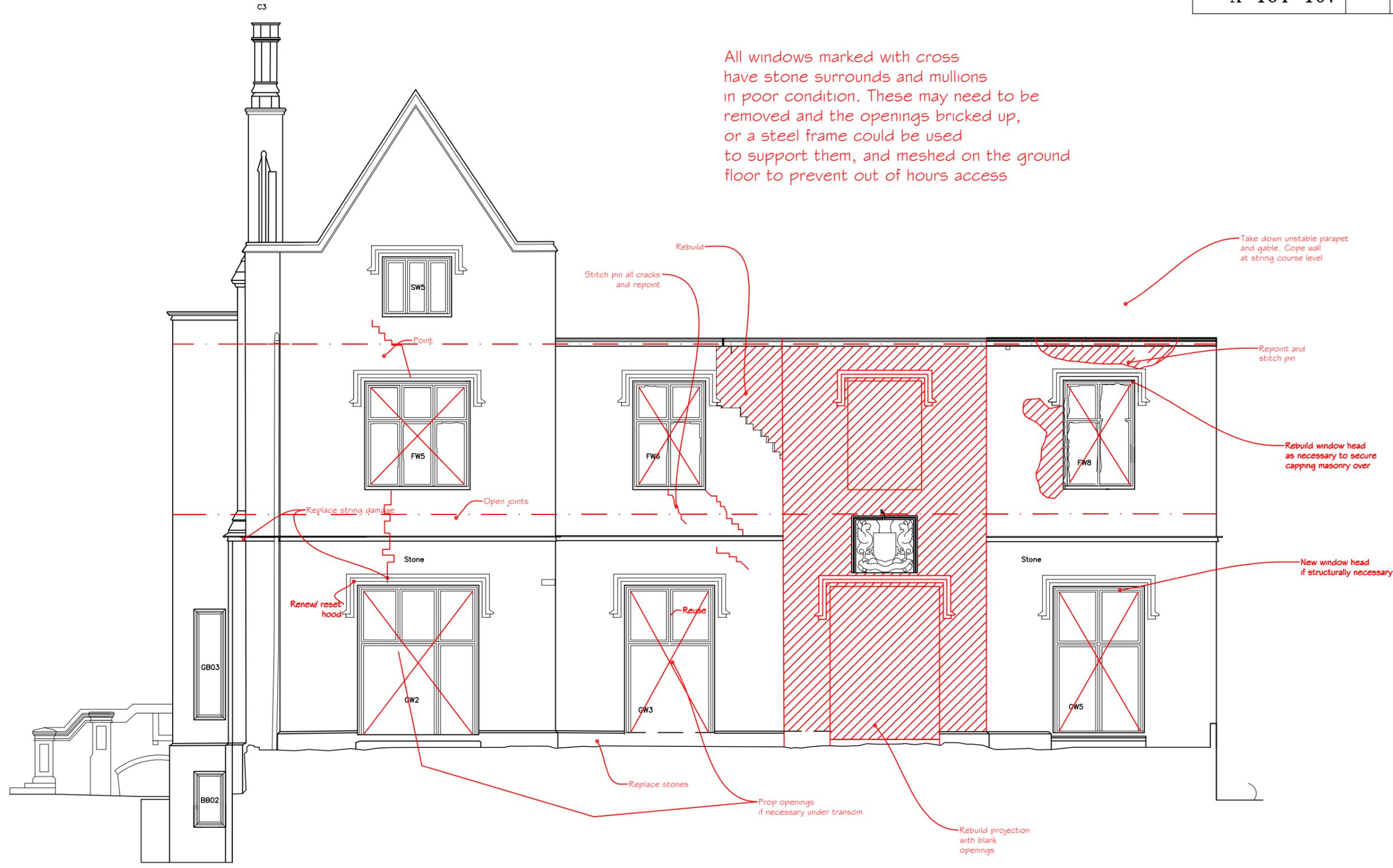


Client	North Kesteven District Council	
Job Title	Nocton Hall Feasibility Study	
Drawing Title	Repair as Ruin & Service Wing Conversion Elevation 2	
Scale	1:50@A1, 1:100@A3	
Date	Oct 2011	Drawn by MEA
Drg. No.	A-164-107	Rev.

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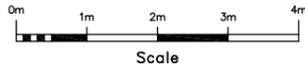
— — — — — Approx floor line

All windows marked with cross have stone surrounds and mullions in poor condition. These may need to be removed and the openings bricked up, or a steel frame could be used to support them, and meshed on the ground floor to prevent out of hours access



96.00m Above Site Datum

ELEVATION 2 (SOUTH FACING)

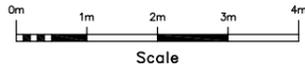


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Drawing Title	Repair as Ruin & Service Wing Conversion Elevation 3	
Scale	1:50@A1, 1:100@A3	Tel : 01205 724047 Fax : 01205 723792 www.andersonandglenn.com
Date	Oct 2011	
Drg. No.	A-164-108	Rev.



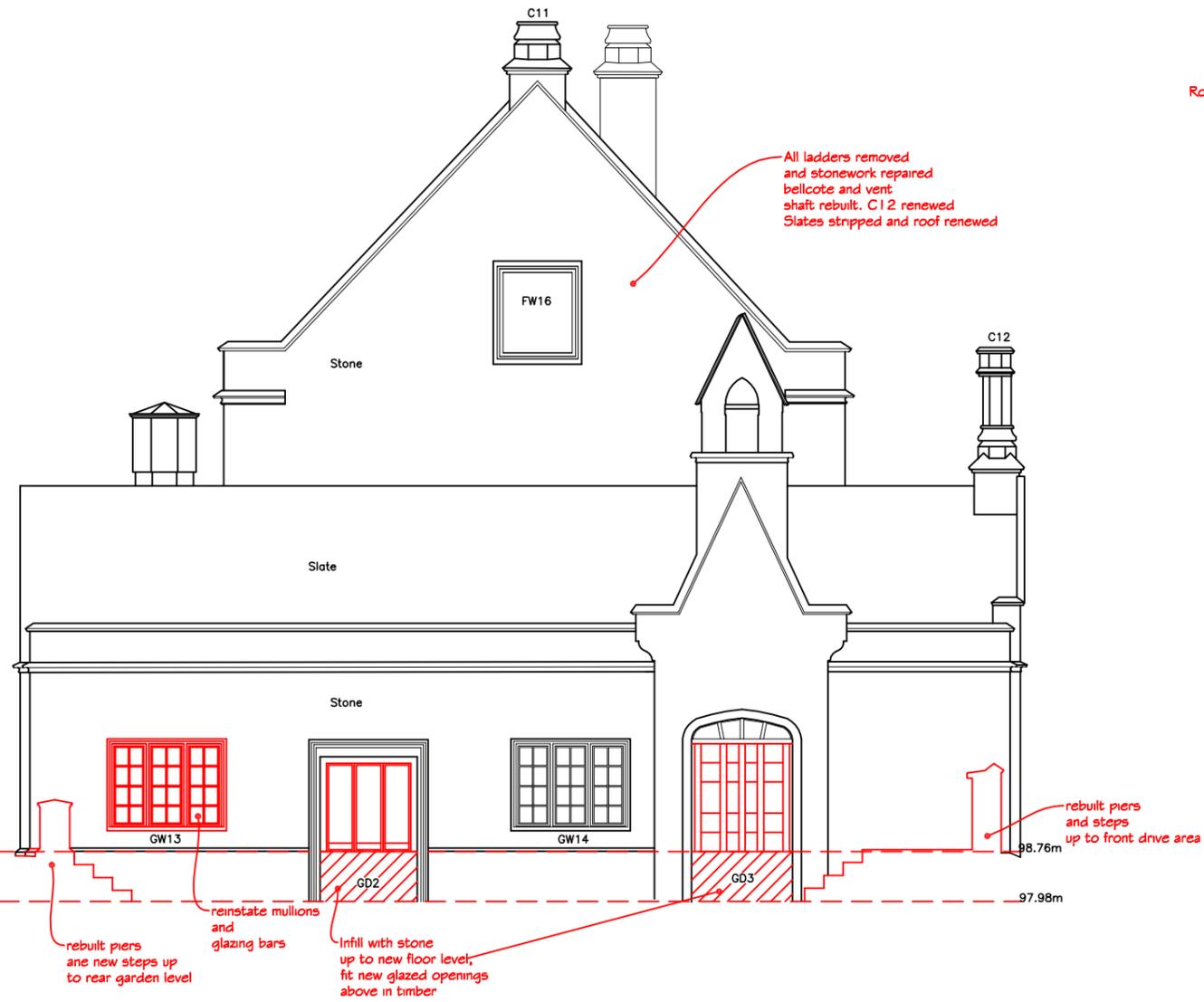
Above Site Datum

ELEVATION 3 (EAST FACING)

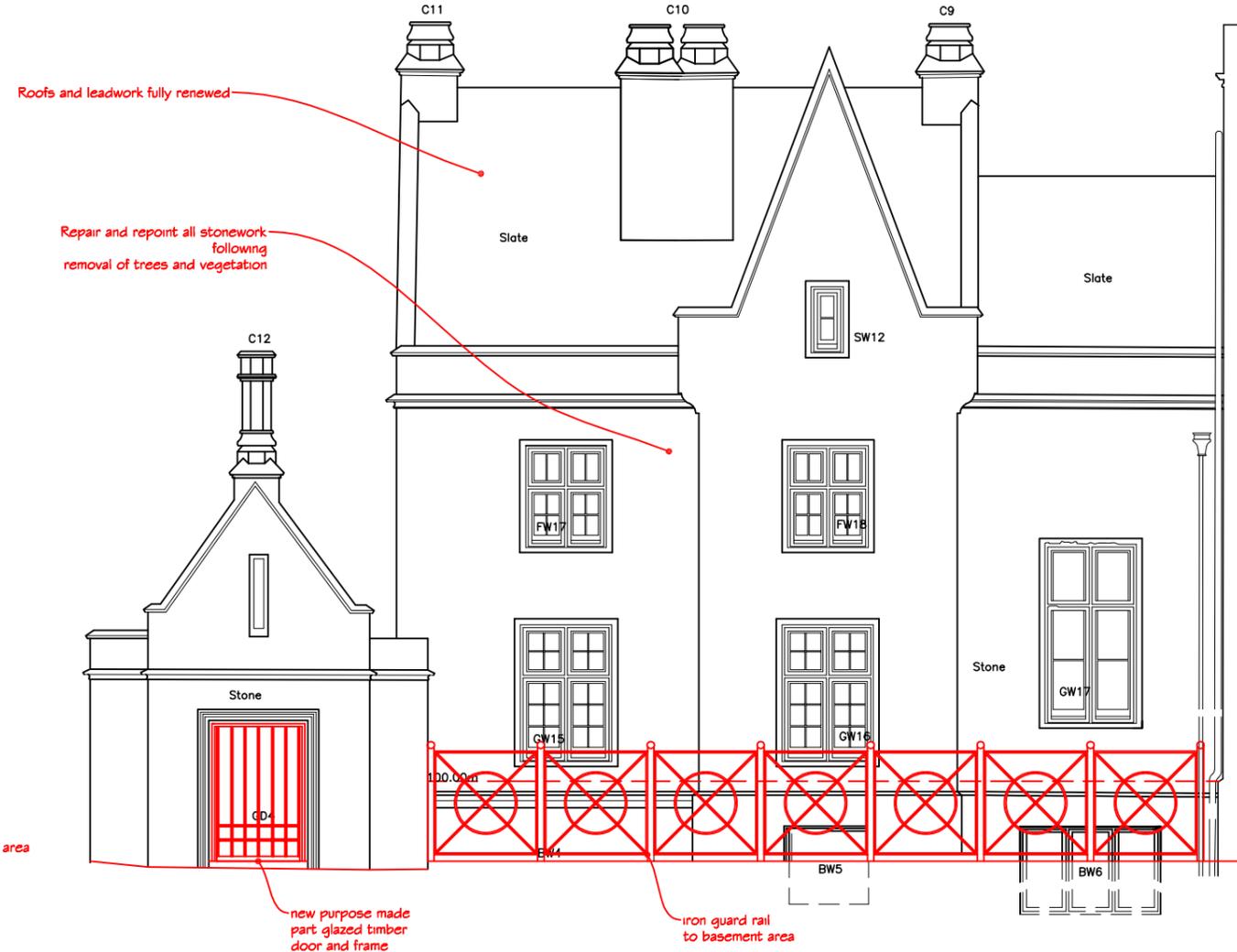


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Drawing Title	Repair as Ruin & Service Wing Conversion Elevation 4 & 5		
Scale	1:50@A1, 1:100@A3	Tel : 01205 724047	
Date	Oct 2011	Drawn by	MEA
Drg. No.	A-164-109	Rev.	
			Fax : 01205 723792
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Carry out all essential repairs shown on drawing 39, replace head and transom of GW17



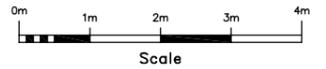
ELEVATION 4 (NORTH FACING)



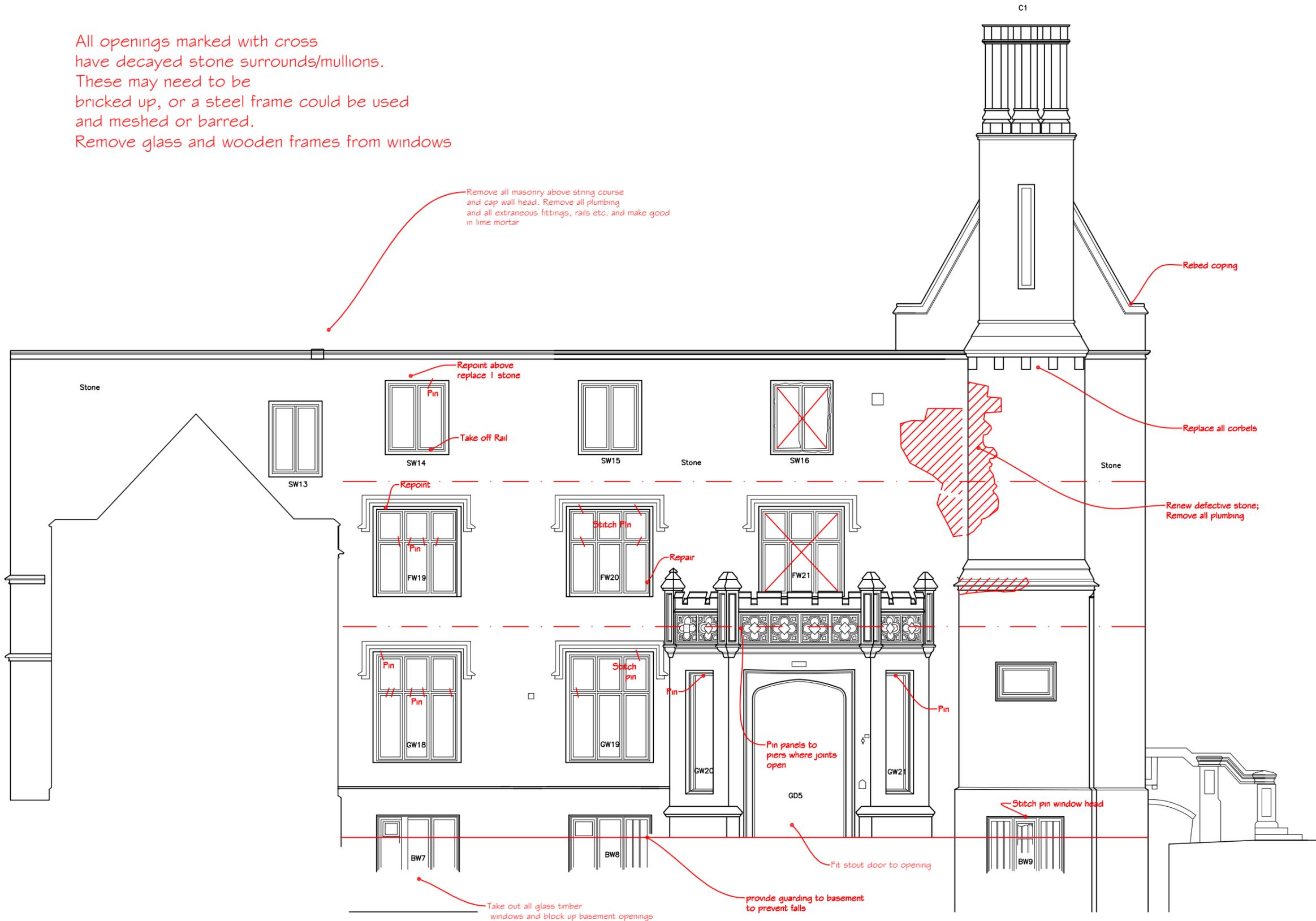
ELEVATION 5 (WEST FACING)

96.00m Above Site Datum

NOTES :
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All openings marked with cross have decayed stone surrounds/mullions. These may need to be bricked up, or a steel frame could be used and meshed or barred. Remove glass and wooden frames from windows



ELEVATION 6 (NORTH FACING)

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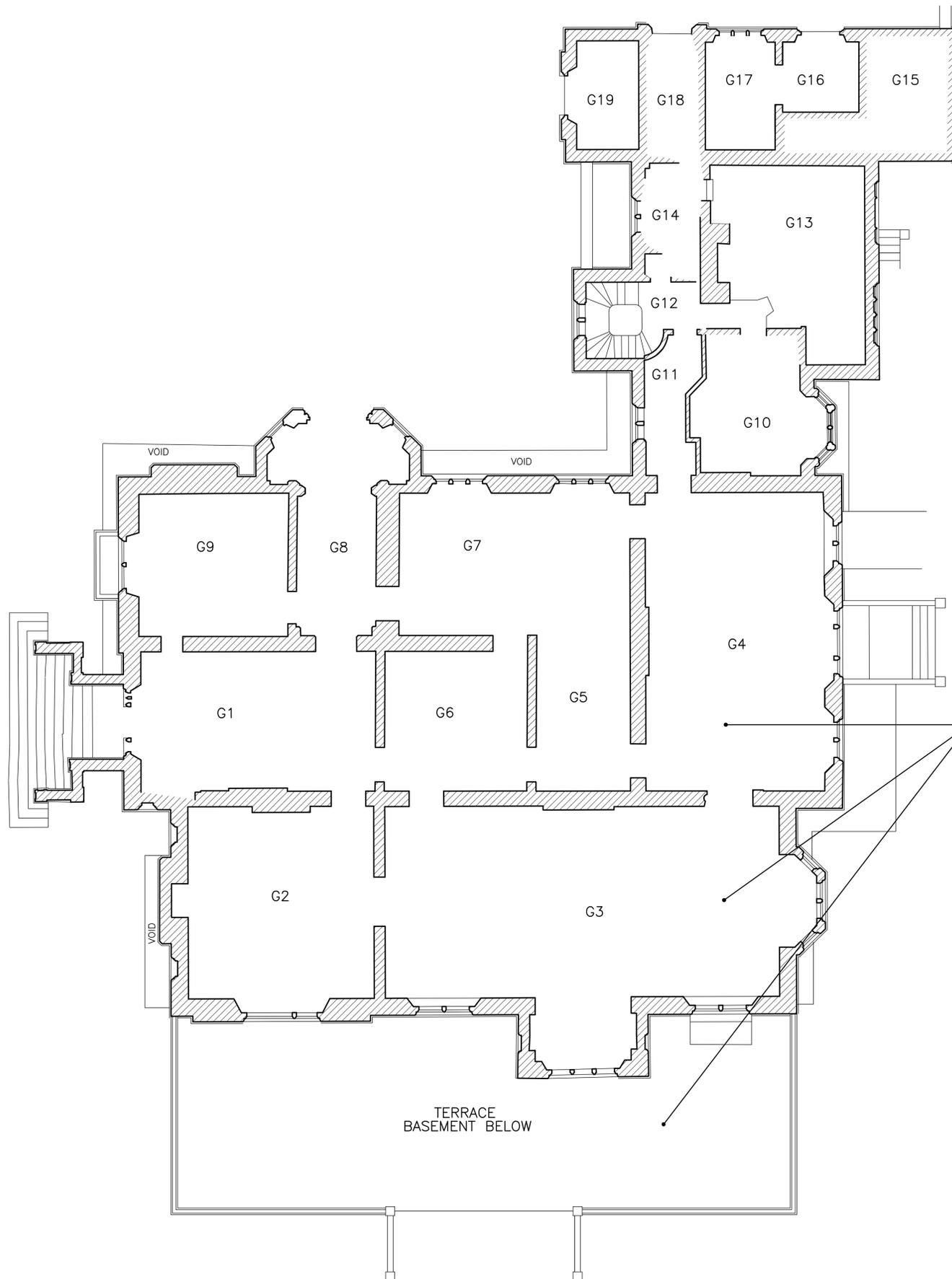
Job Title
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Drawing Title
Repair as Ruin & Service Wing Conversion Elevation 6

Scale **1:50 @ A1**
 Date **Oct 2011** Drawn by

Drg. No. **A-164-110** Rev.

10.3 Engineer's Drawings



NOTE:
 NEW GROUND FLOOR TO BE SOLID CONCRETE MIN.
 150DP. (GRADE C28/35) SLAB TO BE REINFORCED
 WITH 2 LAYERS A193 MESH 1 TOP & 1 BOTTOM.
 NEW SLAB TO BE CAST ON TOP OF EXISTING VAULTED
 STRUCTURE.
 DETAILS AND LAYOUT OF BASEMENT WALLS UNDER
 NOT SURVEYED.

BASEMENT STRUCTURE BELOW
 NOT SURVEYED



- NOTES
1. ALL DIMENSIONS TO BE CHECKED ON SITE AND NO MEASUREMENTS TO BE SCALED OFF THIS DRAWING.
 2. IN CASE OF ANY DISCREPANCY THE ENGINEERS ARE TO BE NOTIFIED IMMEDIATELY.
 3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS AND SERVICES ENGINEER'S DETAIL, DRAWINGS AND SPECIFICATIONS.
 4. ALL CONCRETE TO BE GRADE C28/35 UNLESS NOTED OTHERWISE.

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GROUND FLOOR
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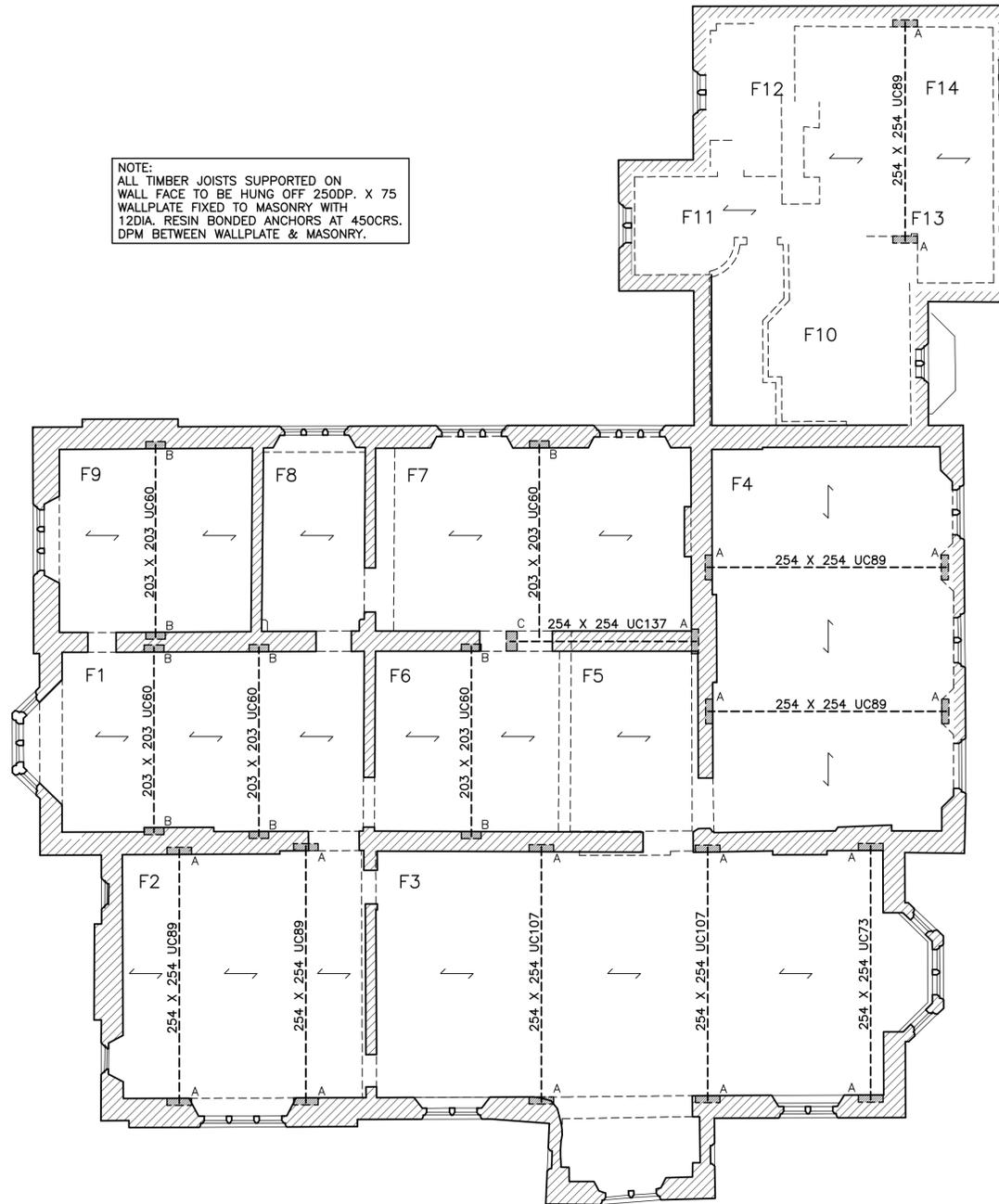
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 EMAIL: coggeshall@themortonpartnership.co.uk

SCALE: 1:100 @ A1 DRAWN BY: IDW
 DATE: JULY 11 CHECKED BY:

DRG No.
 12422/01

NOTE:
 ALL TIMBER JOISTS SUPPORTED ON
 WALL FACE TO BE HUNG OFF 250DP. X 75
 WALLPLATE FIXED TO MASONRY WITH
 12DIA. RESIN BONDED ANCHORS AT 450CRS.
 DPM BETWEEN WALLPLATE & MASONRY.



LEGEND	
-----	NEW STEEL BEAM AT FLOOR LEVEL
←	SPAN OF NEW 250DP. X 65 (C24) FLOOR JOISTS AT 400CRS. NOGGINs TO BE PROVIDED AT THIRD SPANS. JOISTS TO RUN INTO WEB OF STEEL BEAMS
	750LG. X 215WD. X 300DP. MASS CONCRETE PADSTONE
	600LG. X 215WD. X 225DP. MASS CONCRETE PADSTONE
	600LG. X 330WD. X 300DP. MASS CONCRETE PADSTONE



- NOTES
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 3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS AND SERVICES ENGINEER'S DETAIL, DRAWINGS AND SPECIFICATIONS.
 4. FLOOR JOISTS AND STEEL BEAMS ARE DESIGNED FOR AN IMPOSED LOADING OF 3.0kN/m². THIS LEVEL OF LOADING TO SUIT OFFICE AND GENERAL ASSEMBLY USE.

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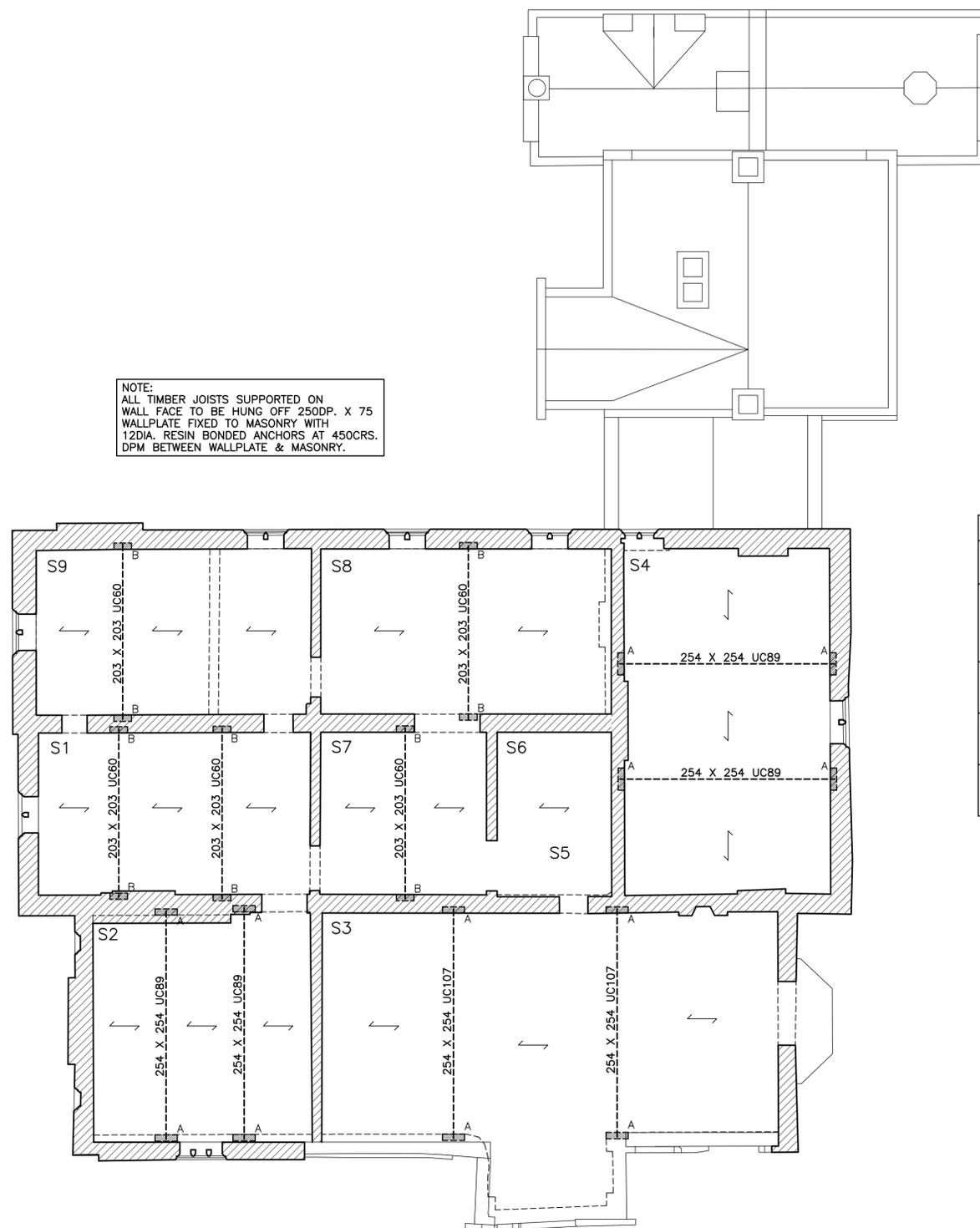
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 4. FLOOR JOISTS AND STEEL BEAMS ARE DESIGNED FOR AN IMPOSED LOADING OF 3.0kN/m THIS LEVEL OF LOADING TO SUIT OFFICE AND GENERAL ASSEMBLY USE.

NOTE:
ALL TIMBER JOISTS SUPPORTED ON WALL FACE TO BE HUNG OFF 250DP. X 75 WALLPLATE FIXED TO MASONRY WITH 12DIA. RESIN BONDED ANCHORS AT 450CRS. DPM BETWEEN WALLPLATE & MASONRY.



LEGEND	
-----	NEW STEEL BEAM AT FLOOR LEVEL
←	SPAN OF NEW 250DP. X 65 (C24) FLOOR JOISTS AT 400CRS. NOGGINS TO BE PROVIDED AT THIRD SPANS. JOISTS TO RUN INTO WEB OF STEEL BEAMS
	750LG. X 215WD. X 300DP. MASS CONCRETE PADSTONE
	600LG. X 215WD. X 225DP. MASS CONCRETE PADSTONE
	600LG. X 330WD. X 300DP. MASS CONCRETE PADSTONE



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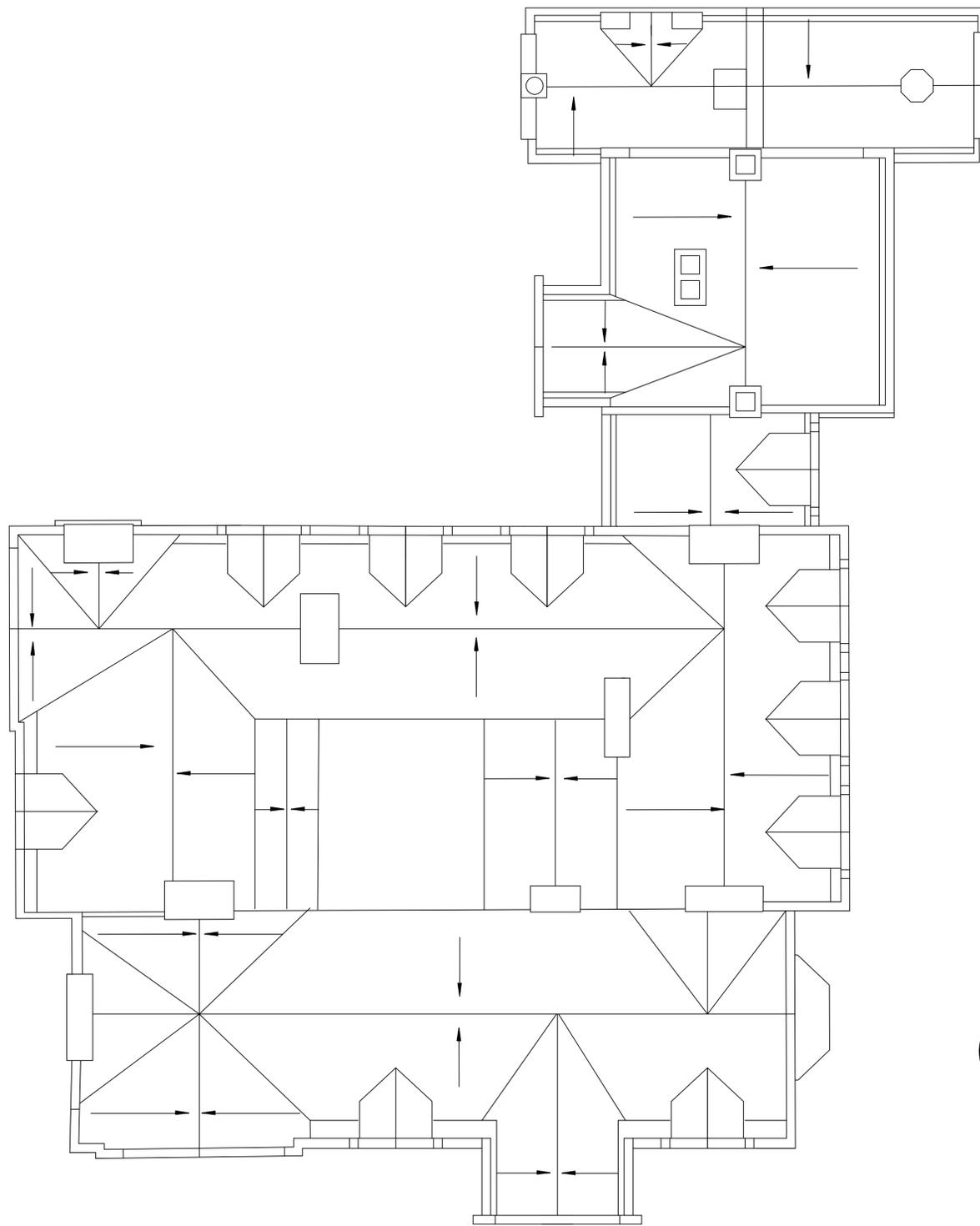
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